

## Solicitation Amendment No. 001

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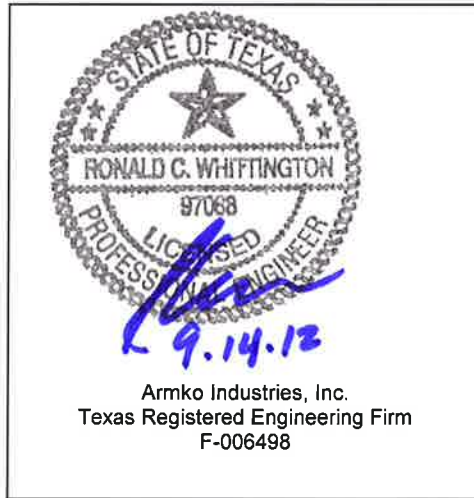
<b>To:</b>	<b>Date:</b>
Prospective Proposers:	September 17, 2012
<b>Project Title:</b>	<b>Project No.:</b>
Roofing Services – 3100 Main Street	12-08

The solicitation for Roofing Services – 3100 Main Street is hereby amended as set forth herein.

- 1) Attachment No. 3, Schedule of Items and Prices, in the original solicitation is hereby replaced with the "Revised" Attachment No. 3.), attached, hereto and incorporated herein.
- 2) Questions and Answers are hereby added hereto and incorporated herein.
- 3) Estimated budget for this project: \$862,500.00

This form must be returned as part of your proposal packet.

<b>Acknowledgement of Amendment No. 1 by:</b>	<b>Date:</b>
<b>Company Name (Bidder/Offerer):</b>	
<b>Signed by:</b>	
<b>Name (Type or Print):</b>	<b>Title:</b>



1320 SPINKS ROAD  
FLOWER MOUND, TX 75028  
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DATE: September 14, 2012

FROM: Georgia Coats

NO. OF PAGES: 8

**ADDENDUM NO. 1 FOR  
HOUSTON COMMUNITY COLLEGE SYSTEM  
3100 MAIN ROOFING PROJECT  
PROJECT NO. 12-08**

Contractor shall incorporate the following additions, deletions and clarifications into the proposal for this project to be submitted by **2:00 P.M., THURSDAY, SEPTEMBER 20, 2012.**

**ATTN: Ms. Georgia M. Coats, CPPB  
Purchasing Agent  
Houston Community College  
3100 Main Street  
Houston, TX 77002**

Contractor shall acknowledge receipt and consideration of this Addendum No. 1 on the Proposal Form.

**The addendum serves to clarify, revise, and supersede information in the Project Manual, the Drawings, and previously issued Addenda.**

The following additions, deletions and clarifications shall be made part of the plans and specifications for this project:

**QUESTIONS POSED:**

**Attachment No. 2:**

1. Items 1-4 are unit prices. Are they to be included in the Total Proposed Price?  
**Answer: Items 1-4 as listed are unit prices only and are not to be included in the total price.**
2. There is no line item for the cost of the roof replacement.  
**Answer: Please use revised Attachment 2 proposal to submit pricing for the roof replacement.**
3. The Proposers Maximum Project Duration in Calendar Days: Is this to be up to sixty (60) but not exceeding?  
**Answer: The number of days are to be sixty (60) not including rain days. A rain day is greater than 30% as provided by local new channels; however, if the contractor feels they cannot meet the time frame, Attachment 2 provides an opportunity to indicate the number of days the submitting contractor will need to complete the project.**

**ADDENDUM NO. 1 FOR  
HOUSTON COMMUNITY COLLEGE SYSTEM  
3100 MAIN ROOFING PROJECT, HOUSTON, TX  
PROJECT NO. 12-08  
SEPTEMBER 14, 2012  
PAGE 2 OF 2**

**Attachment No. 3:**

4. Paragraph 3 states all debris and new material can only be moved late evening (8:00 PM) and early morning (6:00 AM).

**Answer: Revised Attachment 3 clarifies the question.**

5. Paragraph 6 states base layer of polyisocyanurate insulation to be one and one-half inch (1-1/2") thick. Is there a minimum R-value or an average R value required?

**Answer: Base layer is to be one and one-half inch (1-1/2") of polyisocyanurate insulation, a one-eighth inch (1/8") per foot taper system is to be adhered as specified. The overall R-value will be the insulation system of both layers of insulation as installed per the specifications.**

**Section 07536 - Fully Adhered Multi-ply Roof System:**

6. Page 61, Paragraph 3.07A calls for perforated vented base sheet to be adhered to the concrete deck while in Attachment 3 Scope of Services.

Paragraph 5 calls for SBS modified bitumen membrane torch applied to concrete deck. Please clarify.

**Answer: Perforated base will not be used. Per paragraph 5, adhere roof system manufacturer torch-applied modified bitumen membrane directly to the concrete deck system after priming.**

**Roof Plan A1.01:**

7. Shows an existing roof drain just south of the Cooling Tower Well Area. There is no drain at that location. Please clarify.

**Answer: Contractor is to install one additional eight inch (8") drain bowl and associated assembly items in the location as indicated on the roof plan that indicates the areas of the existing drain. Drain installation shall include cast iron pipe leader line elbows, strapping to the deck system to tie into the existing drain lines to the south. All connections and piping and drain assembly items are to be included in the base proposal price.**

8. **Note 6.** States contractor to install one-fourth inch (1/4") per foot slope tapered insulation while specification Section 07535, Page 55, Paragraph 2.08B and Attachment No. 3 both call for one-eighth inch (1/8") per foot slope. Please clarify.

**Answer: All taper insulation is to be one-eighth inch (1/8") per foot taper.**

9. **Question:** Is there a bid bond required on this project, and if so, is there a certain form required?

**Answer: Bid Bonds are not required.**

10. **Question:** Are there any liquidated damages per day on this project?

**Answer: Please see Attachment No. 2.**

11. Revised Roof Plan No. SDA 1.01, dated 09/14/12 is attached, which shall be made part of the plans and specifications for this project.

12. New Detail No. SDA2.01, dated 09/14/12 is attached, which shall be made part of the plans and specifications for this project.

END

Attachments: Attachment No. 2 (Revised) - Schedule of Items and Prices for Roofing Services (1 page)  
Attachment No. 3 - Scope of Services for Roofing Services (3 pages)  
Revised Roof Plan No. SDA 1.01, dated 09/14/12  
New Detail No. SDA2.01, dated 09/14/12

**ADDENDUM 1  
ATTACHMENT NO. 2 (REVISED)**

**SCHEDULE OF ITEMS AND PRICES  
FOR  
ROOFING SERVICES - 3100 MAIN STREET  
PROJECT # 12-08**

The Proposer/Contractor shall furnish all resources and services necessary and required to provide ROOFING SERVICES - 3100 Main Street, in accordance with the **Scope of Services**, and the general terms and conditions of the sample contract documents for the proposed price(s) listed below.

<u>Item No.</u>	<u>Description of Services</u>	<u>Proposed Cost</u>
<b>UNIT PRICING:</b>		
001	Remove and replace damaged concrete decking:	\$ _____ s/f
002	Remove and replace damaged or rusted metal decking:	\$ _____ s/f
003	Remove and replace damaged or wet lightweight insulation:	\$ _____ s/f
004	Remove and replace deteriorated nailers:	\$ _____ per board foot
005	<b>Total for Attachment 3, all proposed scope of work:</b>	<b>\$ _____</b>

**Written amount for Total 005:** \_\_\_\_\_

**Proposer's Maximum Project Duration in Calendar Days:** \_\_\_\_\_

\* **NOTE:** No overtime rates are applicable to this project. Contractor shall provide hours to complete project within sixty (60) days from issuance of contract. Liquidated damages for days past the sixty (60) day time frame will be \$500.00 per day. Rain days will not be included in the sixty (60) day time frame. A rain day is defined as a day with rain chances greater than 30% by the National Weather Service.

**ADDENDUM 1  
ATTACHMENT NO. 3  
SCOPE OF SERVICES  
FOR  
ROOFING SERVICES - 3100 MAIN STREET  
PROJECT # 12-08**

**Scope:**

This Scope of Service covers the requirements for the Contractor to provide ROOFING AND WATERPROOFING AS OUTLINED IN THE PLANS AND SPECIFICATIONS - 3100 Main Street to Houston Community College (HCC).

To furnish all labor, material, tools, equipment, transportation, bonds, permits, staging, crane, dumpsters, permits as well as all applicable taxes, incidentals, and other facilities, and to perform all work for the said roofing and waterproofing for the following areas:

Work shall include:

**(Main Roof Area):**

1. Remove the existing roof system and base flashing to the substrate up to and including all areas under the existing stainless steel receiver of the parapet walls. This includes the bottom counterflashing as well.
2. At parapet walls, remove the existing stainless steel counterflashing only and replace. Existing coping and membrane are to remain.
3. All debris removed shall be taken to street level of structure using a construction debris chute only. Elevators may only be used to move contractor's Employees from the first to the 13th Floor
4. All roof components shall be installed using cold process applications. Torch applied base sheet. Low rise foam adhesives are to be used for the insulation and recover board, and membrane manufacturer's cold process adhesives for the base, interply and cap sheet.
5. Prime the existing concrete deck and parapet walls with specified primer, torch apply one layer of smooth modified bitumen membranes supplied by the roof system manufacturer.
6. Fully adhere base layer of one layer of one and one-half (1-1/2") polyisocyanurate insulation.
7. Fully adhere tapered polyisocyanurate (one-eighth inch (1/8") per foot) insulation to ensure positive drainage to the roof drains. Ponding is not acceptable.
8. Fully adhere one layer of one-half inch (1/2") gypsum core recover board.
9. Fully adhere one ply of membrane manufacturer's SBS 80 mil modified interply sheet.
10. Fully adhere one layer of 100 mil plus fleece backed Elvaloy thermoplastic membrane.
11. At rise walls above main roof, mechanically fasten one layer of three-fourths inch (3/4") exterior grade plywood, adhere one layer of 60 mil reinforced membrane flashing as specified.

12. All new flashings shall be a minimum of 60 mil Elvaloy membrane adhered to the modified interply sheet.
13. Install new nailers to the existing beams as indicated on the roof plan over the cooling towers to receive new low profile standing seam stainless steel marine grade coping.
14. Prior to the installation of the coping, adhere one layer of 60 mil Elvaloy membrane over the cooling tower beams, install new low profile standing seam stainless steel coping with continuous clip.
15. All existing columns, drains, rise walls, pitch pans, existing curbed units, vent stack, I beams and all penetrations in the roof shall be flashed as per the details and drawings.
16. Install new stainless steel counterflashings. All counterflashings are to have a continuous clip.
17. There shall be no drilling or fastening into the granite fascia.

**(Penthouse Raised Roof Area)**

18. Remove the existing roof to the substrate on the raised roof area of the main roof.
19. Mechanically fasten one ply of vented base sheet per ASCE 7 Guidelines.
20. Fully adhere one ply of membrane manufacturer's SBS 80 mil modified interply sheet.
21. Fully adhere one layer of 100 mil plus fleece backed Elvaloy thermoplastic membrane.
22. All new flashings shall be a minimum of 60 mil Elvaloy membrane adhered to the modified interply sheet.

**(Penthouse Wall Areas Above Main Roof)**

23. At the wall at the area where the HVAC unit and ductwork is to be removed, contractor is to provide and install new brick masonry. Match profile of the existing masonry as close as possible.
24. Remove and replace the metal wall mansard to access the through-wall system.
25. Remove and replace all through-wall flashings as indicated on the roof plan.
26. Apply two coats of elastomeric sealants as per specifications.

**GENERAL:**

27. Provide floor and wall protection at elevator, halls and loading dock areas to protect finishes.
28. At all roof areas, provide Manufacturer's twenty (20) year NDL warranty with 120 MPH wind rider to meet ASCE 7 guideline wind speed.
29. Provide Contractor's two (2) year warranty.
30. All materials shall be manufactured and supplied by the membrane manufacturer issuing the warranty.
31. All materials shall be installed per the specifications as well as the membrane manufacturer's guidelines.

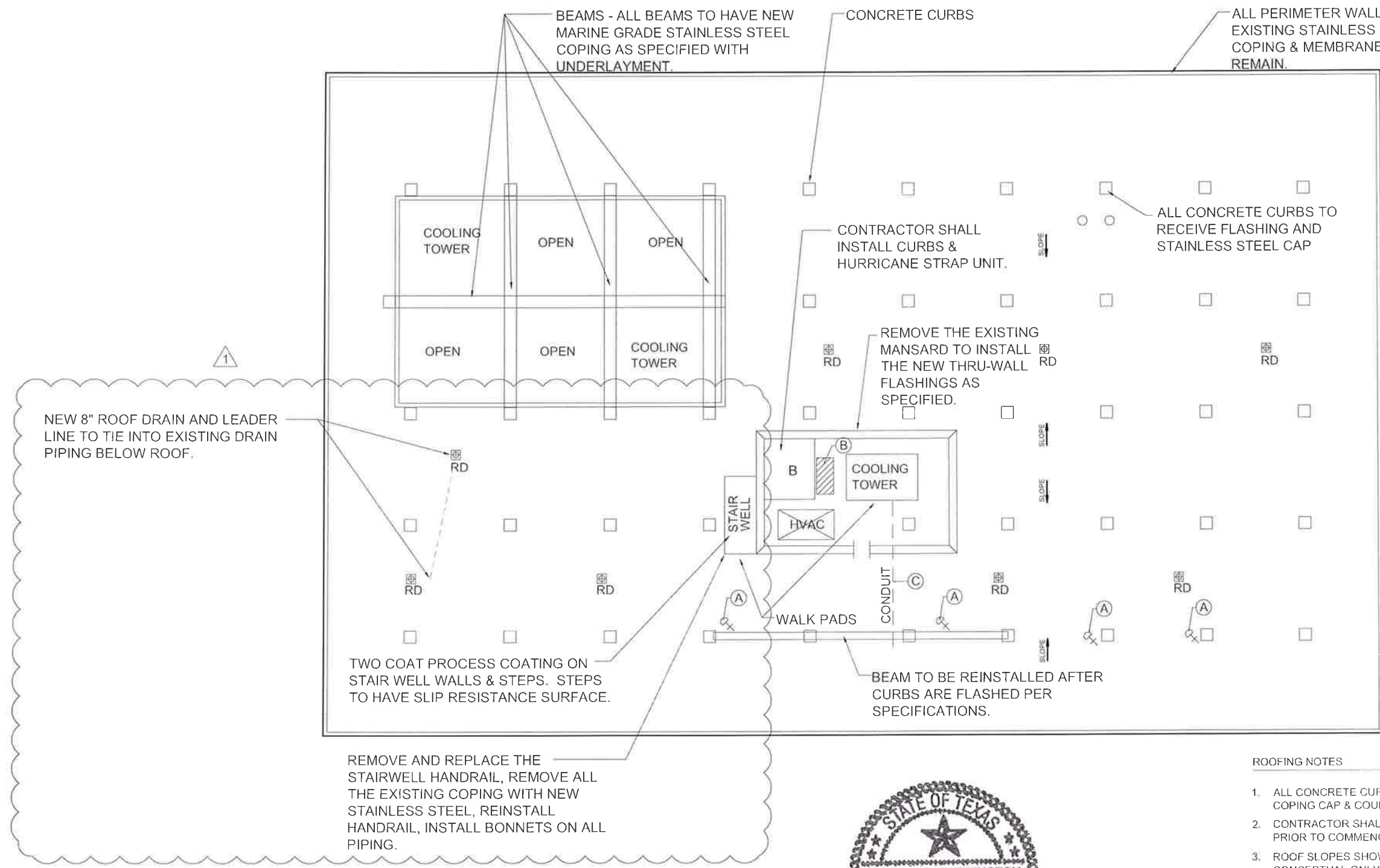
32. Exterior side of first level of granite below roof areas and all vertical and horizontal control joints including metal to masonry and masonry to masonry shall be removed and replaced with new backer rod and elastomeric sealants.
33. Recertify lightning suppression system.
34. Contractor to verify all drains are in working order by use of camera. Cameras are to be inserted into the roof side of the drain and the camera video tape of the entire drain plumbing pipe to the underground storm drains. Copy of the video is to be provided to the Owner or Owner's Representative prior to the start of roof system removal.
35. Install walk pads from the stairwell landing on the roof side.
36. At the stairwell, all wall systems are to be cleaned and apply two coats of elastomeric sealant as per specifications.
37. Stairwell railing is to be removed to replace the coping.
38. Install new stainless steel coping on the stairwell wall where existing was removed.
39. Reset stairwell railing, install new stainless steel bonnets to ensure proper sealing.
40. All piping remaining shall be coated with aluminum, no fibered coating.
41. All piping shall be placed on new poly-based pipe supports. Portable Pipe Hangers, or approved equal.
42. At all existing ductwork, new poly-based supports shall be installed. Portable Pipe Hangers, or approved equal.
43. Remove all construction debris, trash chutes, dumpster and associated materials.

Contractor shall verify all substrates, dimensions, penetrations, curbs, etc. those shown are typical but may not be all inclusive.  
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PROJECT NO. 20120817-41  
DATE: 09/14/2012  
DRAWN BY: ST  
ADDENDUM NO. 1

PROJECT FOR  
HOUSTON COMMUNITY COLLEGE SYSTEM  
3100 MAIN BUILDING  
HOUSTON, TX

SDA1.01  
OF  
1



- SPECIFIC NOTES**
- A. DEMO AND REMOVE THE SATELLITE DISHES. CONTRACTOR TO REMOVE DISHES FROM ROOF AND DISCARD.
  - B. DEMO AND REMOVE ABANDONED HVAC UNITS. CONTRACTOR TO REMOVE THE HVAC UNIT AND ASSOCIATED DUCT WORK DISCARD.
  - C. DEMO AND REMOVE ABANDONED CONDUIT AND WIRING. CONTRACTOR TO REMOVE THE ABANDONED PVC AND METAL CONDUIT AND DISCARD. ALL WIRING AND CONDUIT AS MARKED WITH ORANGE PAINT IS TO BE REMOVED.

- ROOFING NOTES**
1. ALL CONCRETE CURBS TO RECEIVE STAINLESS STEEL COPING CAP & COUNTERFLASHING.
  2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
  3. ROOF SLOPES SHOWN ON DRAWING ARE GENERAL AND CONCEPTUAL ONLY. PROVIDE POSITIVE DRAINAGE TO ALL ROOF DRAINS. VERIFY IN SHOP DRAWINGS.
  4. PROVIDE TAPERED INSULATION CRICKETS (1/8" FT. MIN. SLOPE) AT HIGH SIDE OF ALL MECHANICAL UNITS SMOKE VENTS, ROOF HATCHES & OTHER MISC. ROOF PENETRATIONS, TO SHED WATER AROUND & TO ENSURE POSITIVE ROOF DRAINAGE.
  5. RECERTIFY LIGHTNING PROTECTION.
  6. CONTRACTOR TO INSTALL 1/8" PER FOOT SLOPE TAPER INSULATION AS SPEC.

**1 ROOF PLAN**  
NOT TO SCALE





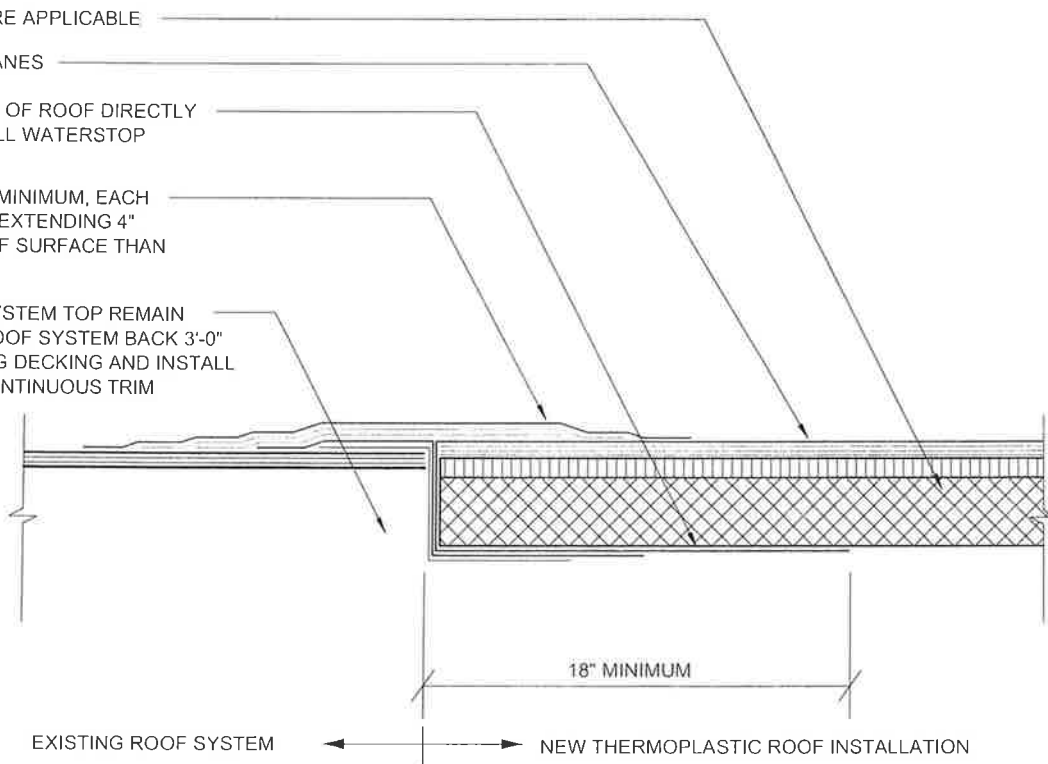
INSULATION WHERE APPLICABLE

ROOFING MEMBRANES

TIE EXISTING SIDE OF ROOF DIRECTLY TO DECK WITH FULL WATERSTOP

THREE PLY TIE-IN MINIMUM, EACH SUCCEEDING LAP EXTENDING 4" FURTHER ON ROOF SURFACE THAN PREVIOUS LAP

EXISTING ROOF SYSTEM TOP REMAIN SPUD SURFACE ROOF SYSTEM BACK 3'-0" DOWN TO EXISTING DECKING AND INSTALL FULLY ADHERE CONTINUOUS TRIM



1 ADD THIS DETAIL IN IT'S ENTIRETY



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TEXAS REGISTERED ENGINEERING FIRM  
F - 6498

PROJECT FOR: HOUSTON COMMUNITY COLLEGE SYSTEM 3100 MAIN BLDG. HOUSTON, TX		SDA2.01 OF 1
DETAIL NAME: ROOF TIE IN		
PROJECT NO: 20120817-41		ADDENDUM NO. 1
SCALE : NOT TO SCALE	DATE: 09/14/12	DRAWN BY: ST