



**ADDENDUM NO. 01**  
**Date: January 28, 2022**

To Drawings and Specifications dated December 6, 2021:

**HCC Renovations**  
**Central South, Eastside, Northeast, and Stafford Campuses**  
**Harris County, Texas**

Prepared by: Collaborate Architects  
3302 Canal St. Suite 36  
Houston, TX 77003  
Tel. 832.409.3050



01/28/2022

Collaborate Project No.: 2135

Notice to Proposers:

- A. Receipt of this Addendum shall be acknowledged on the Proposal Form.
- B. This Addendum forms part of the Contract documents for the above referenced project and shall be incorporated integrally therewith.
- C. Proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this Addendum shall govern.

**GENERAL:**

- Item No. 01 **Question:** Will the contractor be required to provide a job trailer, site dumpster, and a portable toilet at each jobsite?  
**Response:** The contractor will not be required to provide a job trailer or a portable toilet at each site. The contractor can use campus facilities. The contractor shall provide a dumpster. In addition, there are no requirements for parking passes. The successful contractor will receive badges for access to the buildings on all four campuses.
- Item No. 02 **Question:** Will the owner or the contractor pay for the plan check fees?  
**Response:** The contractor will be responsible for paying the permit fees at each location. Provide in bid proposal.
- Item No. 03 **Question:** Are vendors required to move furniture at each location?  
**Response:** No.
- Item No. 04 **Question:** The Campus locations have furniture and/or equipment currently in the areas to be renovated. Could you clarify if the contractor is responsible for relocating and resetting equipment and relocating and resetting furniture and if so, at which Campuses? If we are to relocate the items, where are we to relocate them to during construction?  
**Response:** HCC will coordinate with each campus and contract with A-Rocket to move furniture and equipment.
- Item No. 05 **Question:** Proposals are to be held valid through April 2022. Can you tell us the time frame HCC looks for construction to start and the desired completion date?  
**Response:** Construction start shall be mid-March and completion date shall be then end of May.

## DRAWINGS:

- Item No. 06 **Question:** The drawings for the Stafford Campus are the only drawing set that reflect HVAC work to be performed. The Eastside Campus work area currently doesn't have any equipment or ductwork servicing the area and Central South and Northeast have wall and ceiling modifications to occur that will affect the existing HVAC system and grille locations. Will there be drawings issued reflecting the HVAC work to occur at each Campus?  
**Response:** The Mechanical drawing indicating the HVAC work was incorrectly labeled Stafford Campus. It should have been labeled Eastside Campus. Correction will be included with the IFC set. At the other three locations, install supply and return air grilles in proximity to their current location.
- Item No. 07 **Question:** The drawings for Northeast Campus state to "Paint or Replace" the ceiling grid. Which direction are we to base our proposal on?  
**Response:** Existing ceiling grid shall be modified, repaired, and painted to a "like new" condition.
- Item No. 08 **Question:** The drawings do not reference any work to be performed associated with modifications to the fire suppression system or the existing fire alarm system. Will any such modifications required at the Campuses be a part of this contract and if so, will drawings be issued to reflect the modifications?  
**Response:** TDI manages the fire alarm and mechanical systems: Contact either Francisco Gutierrez, [Francisco.Gutierrez@TDIndustries.com](mailto:Francisco.Gutierrez@TDIndustries.com), Daniel Faldyn, [Daniel.Faldyn@TDIndustries.com](mailto:Daniel.Faldyn@TDIndustries.com), or David Nicholson [david.nicholson@tdindustries.com](mailto:david.nicholson@tdindustries.com). In addition, HCC manages the systems as well. For Central South and Stafford Campuses, contact Andy Luna (713-444-2945) and for Southeast Campus, contact Ernest Benjamin (832-472-9719).
- Item No. 09 **Question:** The waste line connection for Stafford is located in the service corridor. The corridor currently has VCT flooring. The finish schedule doesn't address VCT repairs in the corridor. Is the contractor to anticipate patching the VCT and if so, is their attic stock on site to be used?  
**Response:** No attic stock is available. Provide new VCT. Final color to be selected from the manufacturer's standard line of colors.
- Item No. 10 **Question:** At the Northeast campus, above FRP in Custodial Room 136A there are two wall mounted shelves. There is also a small water heater on top of a wall mounted base. In order to properly remove and reinstall the FRP those items would have to be removed. How would like to proceed?  
**Response:** The existing FRP panels will remain in place. Clean the FRP panels. Replace flooring and base. Replace shelves with 1" thick plastic laminate clad plywood – match existing size.
- Item No. 11 **Question:** At the Central South campus where the VCT is to be replaced, does HCC have attic stock, or do we have to provide samples to architect in order to match to existent?  
**Response:** Replace all VCT flooring in the Student Lounge. Refer to attached Drawing A1.10 for the new pattern and VCT description.
- Item No. 12 **Question:** At the Stafford campus, does client want to add FRP to new partition walls in order to match to existent wall design around the rest of the building. Do we simply build new partitions with finish paint schedule?  
**Response:** Provide plastic laminate clad plywood on a 4" terrazzo base with an aluminum Schluter trim at the top to match the existing wainscot. Match existing plywood thickness and provide a 1"x1" stainless-steel corner bead with exposed fasteners to match existing. Refer to attached Drawing A1.40 for the location of the wainscot panels. Paint partition from top of wainscot to ceiling.
- Item No. 13 **Question:** At the Eastside campus, the Reflected Ceiling Plan drawing shows 9ft on Food Service Area Room 126A. We need to verify that the sprinkler line on wall coming from Mechanical and Fire Pump Rooms will be above ceiling grid. Addition to scope of work may be needed to adjust if needed.  
**Response:** Adjust the sprinkler pipe as required to provide a 9'-0" ceiling height.

- Item No. 14      Replace Drawing D1.10 DEMOLITION PLAN AND SCHEDULES – HCC CENTRAL SOUTH with the attached, revised drawing.
- Item No. 15      Replace Drawing D1.20 DEMOLITION PLAN AND SCHEDULES – HCC EASTSIDE with the attached, revised drawing.
- Item No. 16      Replace Drawing D1.30 DEMOLITION PLAN AND SCHEDULES – HCC NORTHEAST with the attached, revised drawing.
- Item No. 17      Replace Drawing D1.40 DEMOLITION PLAN AND SCHEDULES – HCC STAFFORD with the attached, revised drawing.
- Item No. 18      Replace Drawing A1.10 PLANS – HCC CENTRAL SOUTH with the attached, revised drawing.
- Item No. 19      Replace Drawing A1.20 PLANS – HCC EASTSIDE with the attached, revised drawing.
- Item No. 20      Replace Drawing A1.30 PLANS – HCC NORTHEAST with the attached, revised drawing.
- Item No. 21      Replace Drawing A1.40 PLANS – HCC STAFFORD with the attached, revised drawing.

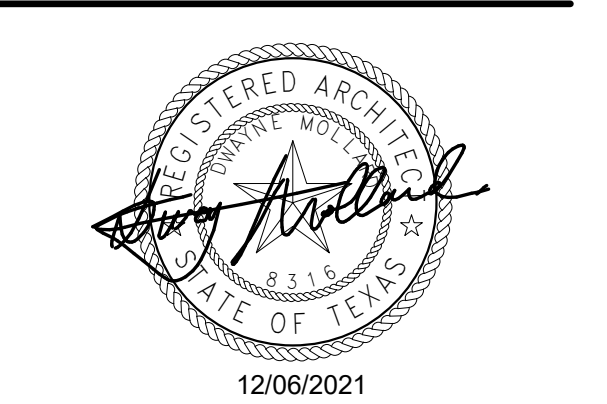
**SPECIFICATIONS:**

- Item No. 22      **Comment:** The specifications define door frames as aluminum, but the door schedule calls for hollow metal and there are no specs for hollow metal.  
**Response:** There are no aluminum door frames. Replace the aluminum door frame specification section with the following hollow metal door frame section:

**08 12 14 – STANDARD STEEL FRAMES**

- Products: Interior rated and non-rated standard steel door frames.
- Standards: Level 1 Door, nominal 18 gage/0.042-inch thick material, base metal thickness meeting the requirements of ANSI A250.8 Grade and Model and NFPA 80 Standard for Fire Doors.
- Fire-rating: Fire ratings as shown on the Drawings
- Preparation: Factory applied primer meeting the requirements of ANSI A250.10 rust inhibitive type.
- Accessories: Resilient rubber silencers set in steel channel fitted into drilled holes – 3 per frame.
- Floor Anchors: Clip-type anchors, with two holes to receive fasteners, formed from same material as frames, not less than 0.042 inches thick.
- Fabricate frames with hardware reinforcement plates welded in place. Coordinate with location of surface mounted door hardware. Comply with applicable requirements in ANSI / SDI A250.6 and ANSI / DHI A115 Series Specifications for preparation of hollow metal work for hardware.
- Jamb Anchors: Locate anchors not more than 18 inches from top and bottom of frame. Space anchors not more than 32 inches on center. Provide four anchors per jamb. Provide countersunk, flat head screw and/or bolt fasteners that are recessed below the face of the frame.
- Verify and coordinate wall thickness with door frame throat.
- Tolerance: Maximum diagonal distortion shall be 1/16 inch measured with straight edges, crossed corner to corner.
- Finish: Bondo over the anchors to conceal them. Sand the Bondo smooth and flush with the face of the frame. Paint the frame in the field.
- Warranty Period: 2 years from date of Substantial Completion

**END OF ADDENDUM NO. 01**



MEP CONSULTANT: GK Engineers, LLC 5959 West Loop South, STE 385 Bellaire, TX 77401 tel. 713.988.8894 www.gk-mep.com

FOOD SERVICE CONSULTANT: (FOR REFERENCE ONLY) Foodservice Design Professionals 25317 Interstate 45 The Woodlands, TX 77380 tel. 281.350.2323 www.FDP.org

HCC RENOVATIONS HCC CENTRAL SOUTH CAMPUS 1300 WINDYBROOK BLVD. HOUSTON, TX 77057

PLAN NORTH TRUE NORTH

Project No.: 2135

Drawing Date: 12/06/2021 Drawn: INITIALS HERE Checked: INITIALS HERE Scale: AS NOTED

Issue Log and Revisions tables with columns for No., Description, and Date.

DEMOLITION PLAN AND SCHEDULES- HCC CENTRAL SOUTH D1.10

GENERAL DEMOLITION NOTES

- 1. DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE. 2. CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK. 3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING. 4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK. 5. CONTRACTOR SHALL PROTECT EXISTING STRUCTURE TO REMAIN DURING DEMOLITION AND CONSTRUCTION. 6. AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR. 7. CONTRACTOR SHALL NOT SCALE DRAWINGS. 8. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN. 9. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK. 10. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES. 11. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. 12. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST). 13. CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER. 14. ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPAIRED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER. 15. CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES. AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION. 16. DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. 17. WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION. 18. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO ALLOW ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING. 19. CONTRACTOR SHALL RELOCATE UTILITIES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL, PLUMBING, AND TECHNOLOGY REQUIREMENTS FOR NEW WORK. 20. PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITH DRIP LINES. 21. CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION. 22. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER THE ITEMS ARE SALVAGE OR NOT. 23. NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION. 24. ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED. 25. REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER. 26. MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED FIRESTOPPING CONDITIONS. 27. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION. 28. REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK. 29. SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND OR DEVICES FOR ALL SCOPE-OF-WORK PERTAINING TO NEW MECHANICAL WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SPLICE NEW REINFORCING BARS DOWELED INTO EXISTING CONCRETE AND PROVIDE NEW VAPOR BARRIER AND NEW CONTINUOUS WATERSTOPS AT JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE FLOOR SLAB. PATCH WITH NEW 3,500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH STRUCTURAL. 30. EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH. 31. NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW UNTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS. COORDINATE LOCATIONS OF ALL NEW OPENINGS IN EXISTING WALLS AND PARTITIONS WITH ARCHITECTURAL PLANS. 32. WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL WITH MATCH EXISTING ADJACENT MATERIALS AND FINISHES, U.N.O. 33. WHERE EXISTING INTERIOR WALLS ARE RELOCATED OR REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS. 34. REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUB CONTRACTORS THE EXTENT OF ALL DEMOLITION WORK. 35. PATCH FLOORS, WALLS, CEILING WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES. 36. WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING. 37. ALL DASHED LINES ARE DEMOLITION LINES UNLESS NOTED OTHERWISE.

FINISH SCHEDULE REMARKS

- ALL SCHEDULED DIRECTIONS (NORTH, EAST, SOUTH, WEST) ARE PER PLAN DIRECTIONS, NOT TRUE COMPASS DIRECTIONS. ALL SCHEDULED CEILING HEIGHTS ARE FROM THE PRIMARY FLOOR LEVEL WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM AN ELEVATED FLOOR LEVEL, AND ARE NOT FROM A RECESSED FLOOR LEVEL. ALL FINISH MATERIALS SHALL MEET FLAME SPREAD RATINGS PER THE BUILDING CODE. PROTECT ALL FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES. PAINT ALL NON-FACTORY FINISHED EXPOSED METAL. PAINT ALL H.M. DOOR FRAMES TO MATCH EXISTING U.N.O. 1. REFER TO CEILING PLANS 2. HOLD-DOWN CLIPS AT SUSP. LAY-IN CEILING SYSTEM WITHIN 8" OF MIN. ANY DIRECTION FROM AN EXTERIOR DOOR LOCATION

AREA DEMO NOTES 1. RELOCATE SPRINKLER HEADS AND FIRE ALARMS AS REQUIRED. 2. RELOCATE EXISTING LIGHTS AS REQUIRED.

FINISH LEGEND

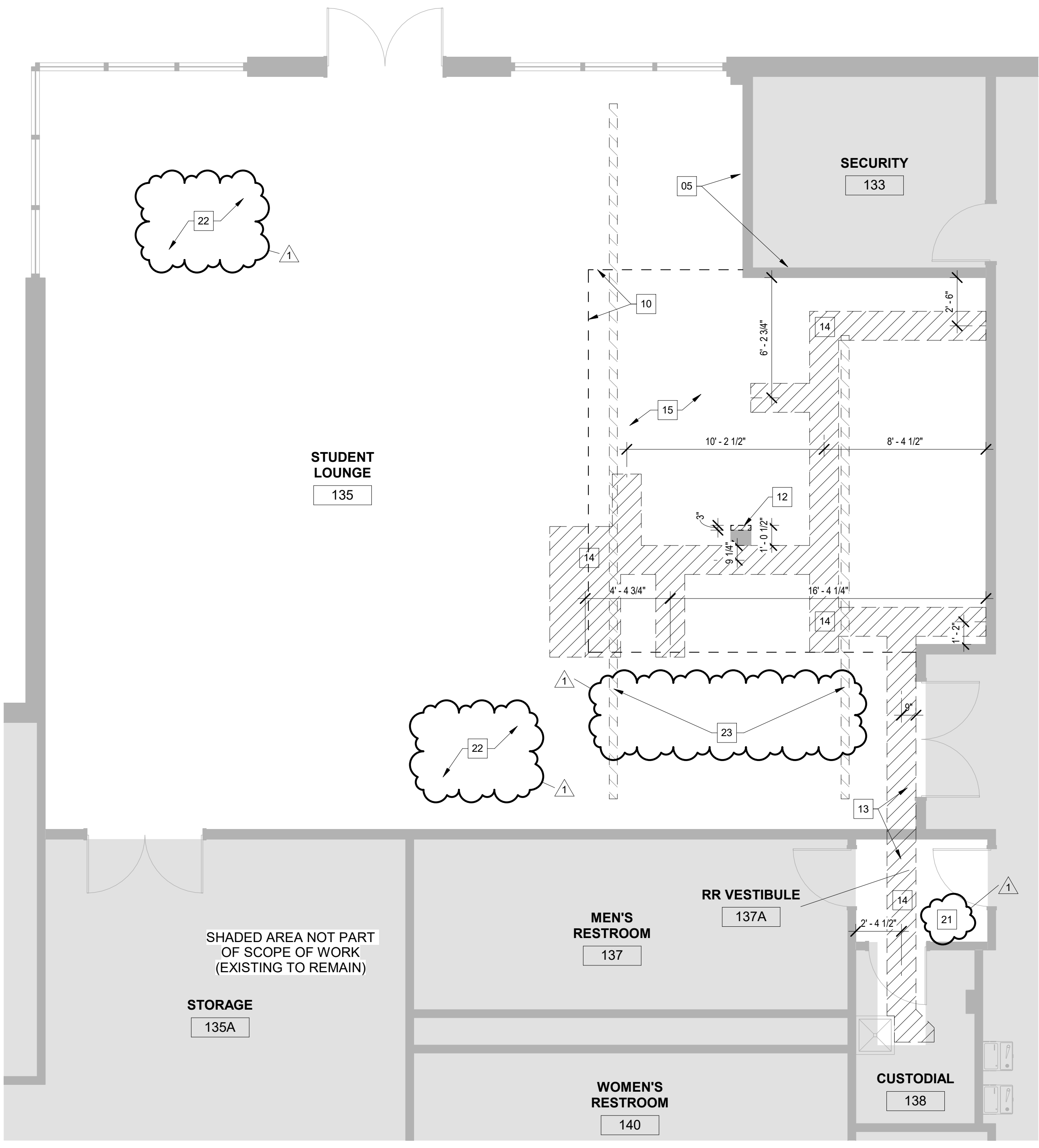
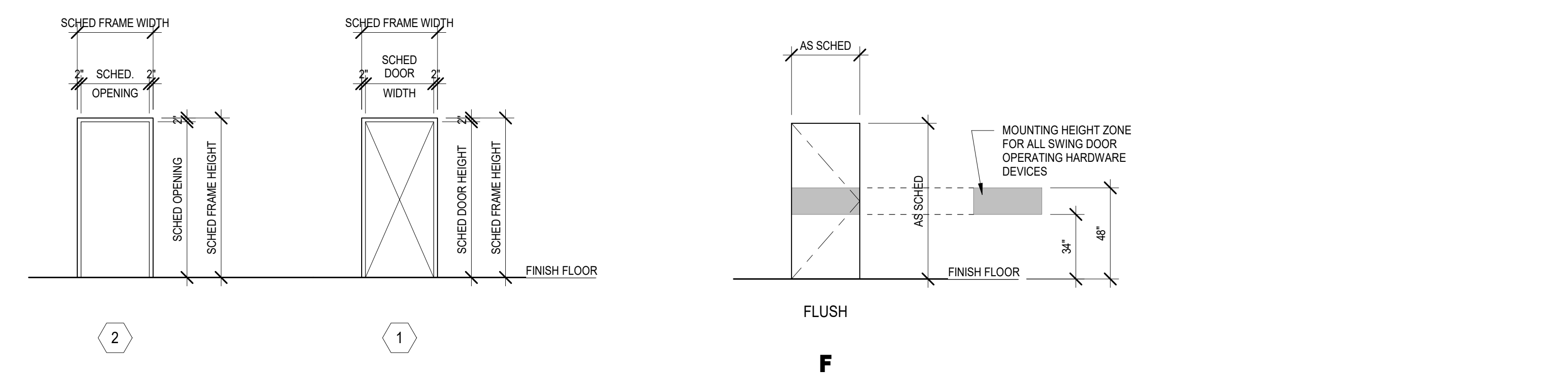
- WALLS FT-01 (PAINT) - FIELD COLOR MATCH EXISTING COLOR AND FINISH, REPAIR AS REQ'D. SHERWIN WILLIAMS (OR EQUAL) FT-02 (PAINT) - FIELD COLOR SHERWIN WILLIAMS EPOXY PAINT PURE WHITE SW7005 (OR EQUAL) BASE WB-01 (WALL BASE) MATCH EXISTING ROPPE - 1/4" VINYL WALL BASE (OR EQUAL) IE-2 (URETHANE WALL BASE SYSTEM) BASF MASTER BUILDER SOLUTIONS - UCRETE RG UP TO 4" (OR EQUAL) IE-2 (TERRAZZO WALL BASE) MATCH EXISTING COLOR AND PATTERN (OR EQUAL) FLOORING FE-1 (URETHANE FLOORING SYSTEM) BASF MASTER BUILDER SOLUTIONS - UCRETE HPF (OR EQUAL) FC-1 (POLISHED CONCRETE) MATCH EXISTING COORDIOR RETROPLATE CLEAR 800 GRIT (OR EQUAL) VCT-1 (VINYL COMPOSITE TILE) MATCH EXISTING COLOR AND FINISH (TARKETT OR EQUAL) VCT-2 (VINYL COMPOSITE TILE) TARKETT - 1347 BEIGE (OR EQUAL) VCT-3 (VINYL COMPOSITE TILE) TARKETT - 1328 BLACK/WHITE (OR EQUAL) VCT-4 (VINYL COMPOSITE TILE) TARKETT - 1365 DARK TAUPE (OR EQUAL) IE-1 (TERRAZZO TILE) MATCH EXISTING COLOR AND PATTERN (OR EQUAL) CE-1 (CERAMIC TILE) 2"x2" TILE AND BASE (BASE UP TO 4") - MATCH EXISTING COLOR AND PATTERN (DALTILE OR EQUAL)

FINISH SCHEDULE - HCC CENTRAL SOUTH (AREA A) table with columns: ROOM NUMBER, ROOM NAME, FLOOR FINISH, BASE, WALL FINISH (NORTH WALL, EAST WALL, SOUTH WALL, WEST WALL), CEILING FINISH, CEILING HEIGHT, REMARKS.

GENERAL NOTES: 1. FINISHES PROVIDED SHALL COMPLY WITH INTERNATIONAL BUILDING CODE (IBC) 2012 WITH CITY OF HOUSTON AMENDMENTS PER TABLE 803.9 AND SHALL BE A MINIMUM OF CLASS C.

DOOR SCHEDULE - HCC CENTRAL SOUTH (AREA A) table with columns: MARK, ELEV., DOOR PANEL SIZE W x H, Material, Finish, DOOR FRAME ELEV., Frame Material, SILL, JAMB, HEAD, H.W., REMARKS.

GENERAL NOTES: 1. REFER TO SPECIFICATION SECTION 087100 FOR DOOR HARDWARE SCHEDULE



6 DEMOLITION PLAN - HCC CENTRAL SOUTH 1/4" = 1'-0"

Author: CHECKED BY: Checker; DRAWN BY: BLM 1360//2135 HCC Food Services/2135\_HCC\_FOOD SERVICE\_A20\_2021\_SS.rvt 1/28/2022 4:49:01 PM

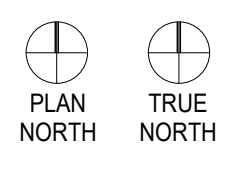


**MEP CONSULTANT:**  
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5959 West Loop South, STE 385  
Bellairre, TX 77401  
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The Woodlands, TX 77380  
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**HCC RENOVATIONS**

HCC EASTSIDE CAMPUS  
8605 WESTCHURCH  
HOUSTON, TX 77067



**Project No.:** 2135  
Drawing Date: 12/06/2021  
Drawn: INITIALS HERE  
Checked: INITIALS HERE  
Scale: AS NOTED

**Issue Log:**

No.	Description	Date

**Revisions:**

No.	Description	Date
1	RFI REVISIONS	01-28-2022

**DEMOLITION PLAN AND SCHEDULES - HCC EASTSIDE**

**D1.20**

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- PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL, OR EXCAVATED MATERIAL WITH DRAIN LINES.
- CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED FIRESTOPPING CONDITIONS.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK.
- SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND OR DEVICES FOR ALL SCOPE-OF-WORK PERTAINING TO NEW MECHANICAL, WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SPLICE NEW REINFORCING BARS DOWELED INTO EXISTING CONCRETE AND PROVIDE NEW VAPOR BARRIER AND NEW CONTINUOUS WATERSTOPS AT JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE FLOOR SLAB. PATCH WITH NEW 3,500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH STRUCTURAL.
- EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
- NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW UNTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS. COORDINATE LOCATIONS OF ALL NEW OPENINGS IN EXISTING WALLS AND PARTITIONS WITH ARCHITECTURAL PLANS.
- WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES, U.I.O.
- WHERE EXISTING INTERIOR WALLS ARE REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS.
- REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUB CONTRACTORS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS, CEILING WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS NOTED OTHERWISE.

**AREA DEMO NOTES**

1. RELOCATE SPRINKLER HEADS AND FIRE ALARMS AS REQUIRED.

**FINISH SCHEDULE REMARKS**

- ALL SCHEDULED DIRECTIONS (NORTH, EAST, SOUTH, WEST) ARE PER PLAN DIRECTIONS, NOT TRUE COMPASS DIRECTIONS.
- ALL SCHEDULED CEILING HEIGHTS ARE FROM THE PRIMARY FLOOR LEVEL WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM AN ELEVATED FLOOR LEVEL, AND ARE NOT FROM A RECESSED FLOOR LEVEL.
- ALL FINISH MATERIALS SHALL MEET FLAME SPREAD RATINGS PER THE BUILDING CODE.
- PROTECT ALL FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
- PAINT ALL NON-FACTORY FINISHED EXPOSED METAL.
- PAINT ALL H.M. DOOR FRAMES TO MATCH EXISTING U.I.O.
- REFER TO CEILING PLANS
  - HOLD-DOWN CLIPS AT SUSP. LAY-IN CEILING SYSTEM WITHIN 8'-0" MIN. ANY DIRECTION FROM AN EXTERIOR DOOR LOCATION

**FINISH LEGEND**

- WALLS**
- PT-01 (PAINT) - FIELD COLOR  
MATCH EXISTING COLOR AND FINISH, REPAIR AS REQ.  
SHERWIN WILLIAMS (OR EQUAL)
- PT-02 (PAINT) - FIELD COLOR  
MATCH EXISTING COLOR AND FINISH, REPAIR AS REQ.  
SHERWIN WILLIAMS EPOXY PAINT  
PURE WHITE SW7005 (OR EQUAL)
- CEILING**
- ACT-1 (2' x 2' SCRUBBABLE VINYL FACED ACOUSTICAL CEILING TILE)  
ARMSTRONG CLEAN ROOM VL #988  
UNPERFORATED (OR EQUAL)
- ACT-2 (2' x 2' ACOUSTICAL CEILING TILE)  
REPAIR AND REPLACE EXISTING TILE AS REQ.  
MATCH EXISTING TILE AND GRID (OR EQUAL)
- MISCELLANEOUS**
- PLAM-01 (PLASTIC LAMINATE)  
WILSONART - DESIGNER WHITE D354-60  
MATTÉ FINISH (OR EQUAL)
- IS-1 (TRANSITION STRIP)  
ROPPE #168 UNDERSLUNG REDUCER (OR EQUAL)  
(MATCH ADJ. FLOOR FINISH)
- BASE**
- WB-01 (WALL BASE)  
MATCH EXISTING  
ROPPE - 4" VINYL WALL BASE (OR EQUAL)
- UE-2 (URETHANE WALL BASE SYSTEM)  
BASF MASTER BUILDER SOLUTIONS -  
URETE REGR UP TO 4" (OR EQUAL)
- TE-2 (TERRAZZO WALL BASE)  
MATCH EXISTING COLOR AND PATTERN  
(OR EQUAL)
- FLOORING**
- UE-1 (URETHANE FLOORING SYSTEM)  
BASF MASTER BUILDER SOLUTIONS -  
URETE HP1F (OR EQUAL)
- PC-1 (POLISHED CONCRETE)  
MATCH EXISTING COORDIOR  
RETROPLATE CLEAR 800 GRIT (OR EQUAL)
- VCT-1 (VINYL COMPOSITE TILE)  
MATCH EXISTING COLOR AND FINISH  
(TARKETT OR EQUAL)
- VCT-2 (VINYL COMPOSITE TILE)  
TARKETT - 1247 BEIGE (OR EQUAL)
- VCT-3 (VINYL COMPOSITE TILE)  
TARKETT - 1265 DARK TAUPÉ (OR EQUAL)
- VCT-4 (VINYL COMPOSITE TILE)  
MATCH EXISTING COLOR AND PATTERN  
(OR EQUAL)
- TE-1 (TERRAZZO TILE)  
MATCH EXISTING COLOR AND PATTERN  
(OR EQUAL)
- CT-1 (CERAMIC TILE)  
2"X2" TILE AND BASE (BASE UP TO 4") - MATCH EXISTING COLOR  
AND PATTERN (DALL TILE OR EQUAL)

**FINISH SCHEDULE - HCC EASTSIDE (AREA B)**

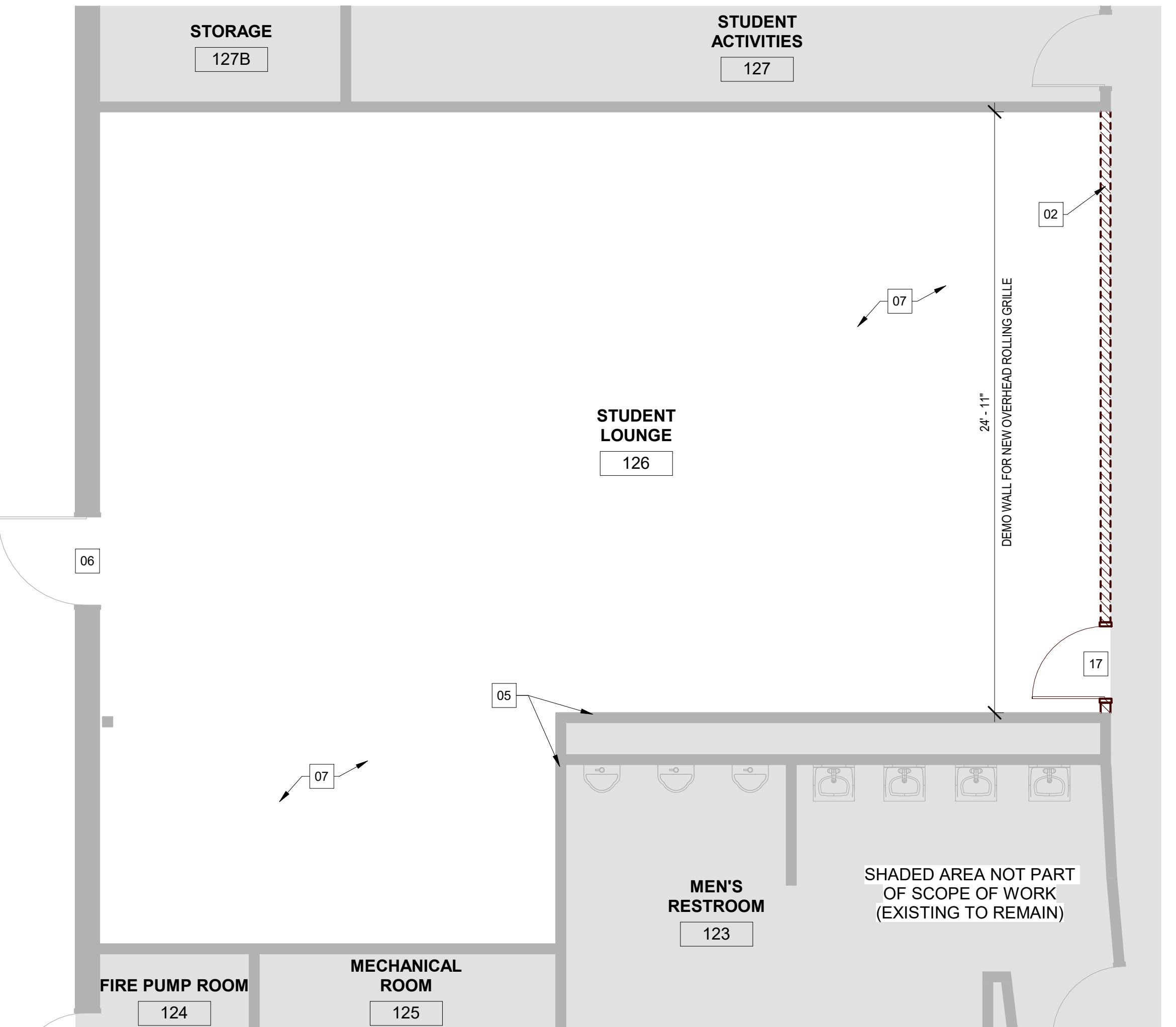
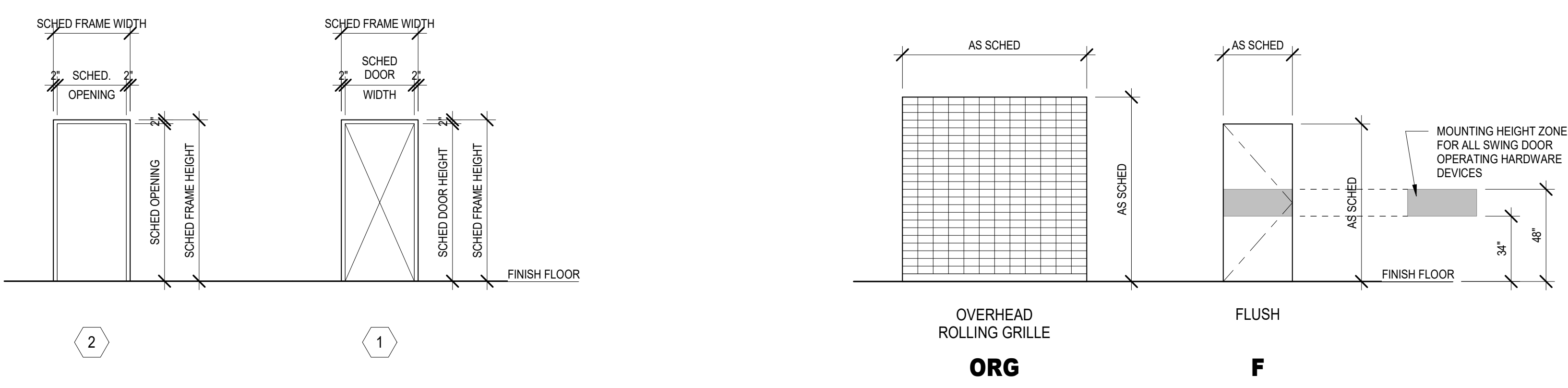
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE	WALL FINISH				CEILING FINISH	CEILING HEIGHT	REMARKS
				NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL			
126	STUDENT LOUNGE	PC-1	WB-01	PT-01	PT-01	PT-01	PT-01	ACT-2	RE: RCP	NEW CONC. SLAB
126A	FOOD SERVICE AREA	UF-1	UF-2	PT-02	PT-02	PT-02	PT-02	ACT-1	RE: RCP	NEW CONC. SLAB
126B	KITCHEN	UF-1	UF-2	PT-02	PT-02	PT-02	PT-02	ACT-1	RE: RCP	NEW CONC. SLAB

- GENERAL NOTES:**
- FINISHES PROVIDED SHALL COMPLY WITH INTERNATIONAL BUILDING CODE (IBC) 2012 WITH CITY OF HOUSTON AMENDMENTS PER TABLE 803.9 AND SHALL BE A MINIMUM OF CLASS C.

**DOOR SCHEDULE - HCC EASTSIDE (AREA B)**

MARK	ELEV.	DOOR PANEL				DOOR FRAME	DETAILS				REMARKS	
		W	H	Material	Finish		ELEV.	Frame Material	SILL	JAMB		HEAD
126	ORG	12'-0"	9'-0"	STL	PRE-FINISHED AT FACTORY	1	H.M.	-	6/42.01	12/42.01	NOTE 1	8" STUD, COOKSON, DOOR TO BE LOCKABLE FROM CORRIDOR SIDE
126A	F	3'-0"	7'-0"	SCVD	MATCH EXISTING PLAM	1	H.M.	-	4/42.01	10/42.01	NOTE 1	
126B	-	4'-0"	7'-0"	-	-	2	H.M.	-	5/42.01	11/42.01	-	4'-0" X 7'-0" CASED OPENING
126C	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	1	H.M.	-	4/42.01	10/42.01	EXISTING	REUSE EXISTING DOOR PANEL AND HARDWARE, PROVIDE NEW ALUMINUM FRAME FOR 6" STUD

- GENERAL NOTES:**
- REFER TO SPECIFICATION SECTION 087100 FOR DOOR HARDWARE SCHEDULE



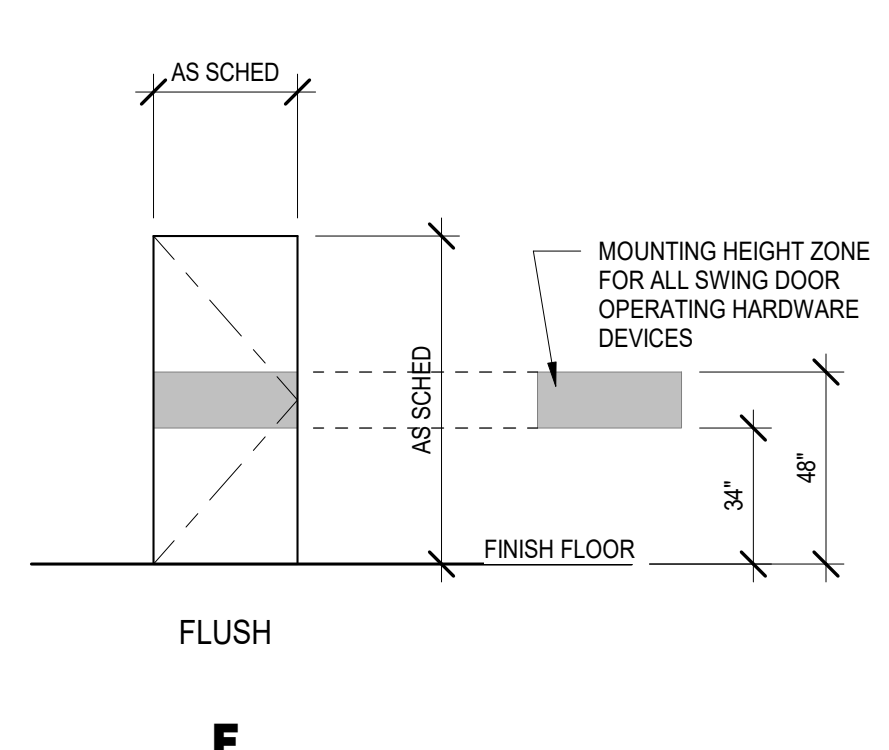
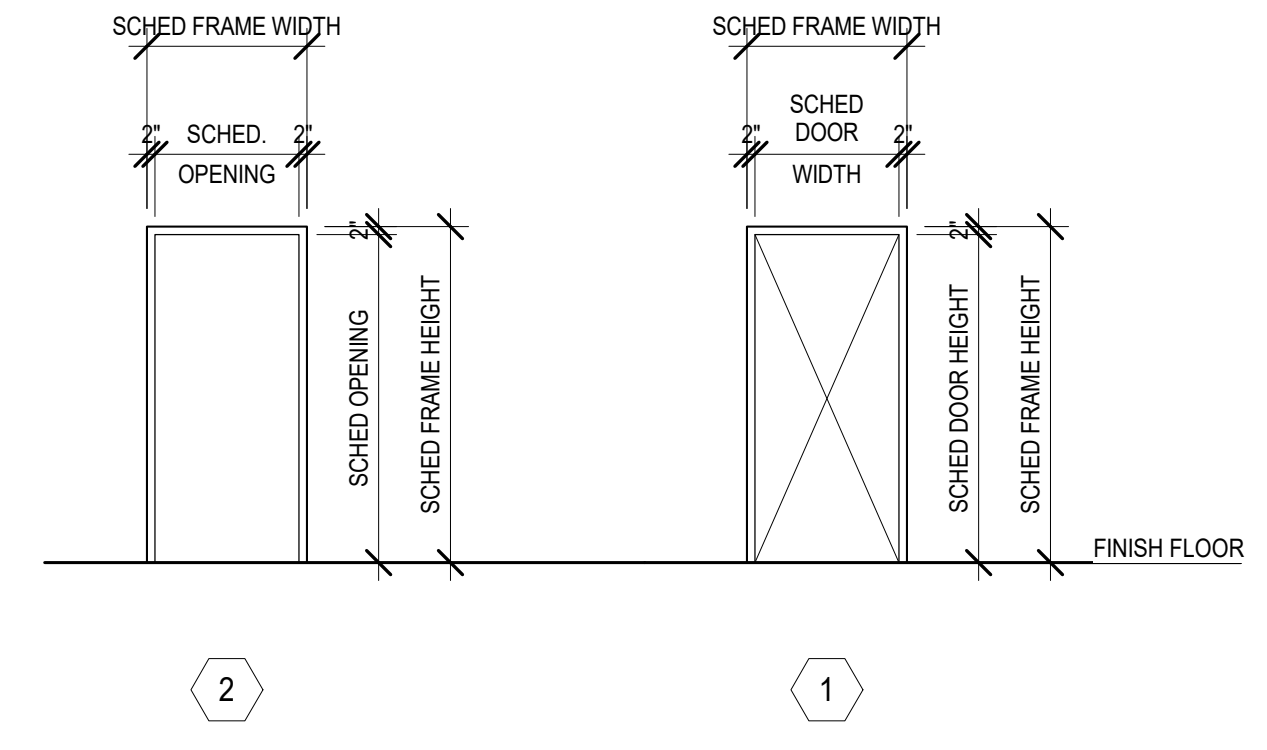
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ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING FINISH	CEILING HEIGHT	REMARKS
136	STUDENT CENTER	VCT-1	WB-01	EXISTING	EXISTING	EXISTING	EXISTING	RE-RCP (EXISTING)	NEW VCT	
136A	CUSTODIAL	VCT-1	WB-01	EXISTING	EXISTING	EXISTING	EXISTING	RE-RCP (EXISTING)	CLEAN EXISTING FRP AND REPLACE WALL MOUNTED SHELVES	
136B	FOOD SERVICE AREA	UF-1	UF-2	PT-02	PT-02	PT-02	PT-02	RE-RCP	EXISTING CEILING GRID TO REMAIN (REPAIR AND REPAINT AS REQ.) NEW CEILING TILE PANELS	
136C	FOOD SERVICE STORAGE	VCT-1	WB-01	PT-02	PT-02	PT-02	PT-02	ACT-1	RE-RCP	

GENERAL NOTES:  
 1. FINISHES PROVIDED SHALL COMPLY WITH INTERNATIONAL BUILDING CODE (IBC) 2012 WITH CITY OF HOUSTON AMENDMENTS PER TABLE 803.9 AND SHALL BE A MINIMUM OF CLASS C.

MARK	ELEV.	DOOR PANEL SIZE W X H		Door Material	Finish	DOOR FRAME						REMARKS	
		W	H			ELEV.	Frame Material	SILL	JAMB	HEAD	H.W.		
136C	F	3'-0"	7'-0"	SCWD	MATCH EXISTING PLAM	1	-	H.M.	-	4/A2.01	10/A2.01	NOTE 1	

GENERAL NOTES:  
 1. REFER TO SPECIFICATION SECTION 087100 FOR DOOR HARDWARE SCHEDULE.



### FINISH LEGEND

- WALLS**
- PT-01 (PAINT) - FIELD COLOR  
MATCH EXISTING COLOR AND FINISH, REPAIR AS REQ. SHERWIN WILLIAMS (OR EQUAL)
- PT-02 (PAINT) - FIELD COLOR  
SHERWIN WILLIAMS EPOXY PAINT  
PURE WHITE SW7005 (OR EQUAL)
- BASE**
- WB-01 (WALL BASE)  
MATCH EXISTING
- WB-02 (VINYL WALL BASE (OR EQUAL))  
MATTE FINISH (OR EQUAL)
- UE-2 (URETHANE WALL BASE SYSTEM)  
BASF MASTER BUILDER SOLUTIONS - UCRETE RG UP TO 4" (OR EQUAL)
- UE-2 (TERRAZO WALL BASE)  
MATCH EXISTING COLOR AND PATTERN (OR EQUAL)
- FLOORING**
- UE-1 (URETHANE FLOORING SYSTEM)  
BASF MASTER BUILDER SOLUTIONS - UCRETE HPVF (OR EQUAL)
- PC-1 (POLISHED CONCRETE)  
MATCH EXISTING COORDINATOR RETROPLATE CLEAR-800 GRT (OR EQUAL)
- VCT-1 (VINYL COMPOSITE TILE)  
MATCH EXISTING COLOR AND FINISH (TARKETT OR EQUAL)
- VCT-2 (VINYL COMPOSITE TILE)  
TARKETT - 1347 BEIGE (OR EQUAL)
- VCT-3 (VINYL COMPOSITE TILE)  
TARKETT - 1328 BLACK/WHITE (OR EQUAL)
- VCT-4 (VINYL COMPOSITE TILE)  
TARKETT - 1365 DARK TAUPE (OR EQUAL)
- TE-1 (TERRAZO TILE)  
MATCH EXISTING COLOR AND PATTERN (OR EQUAL)
- CT-1 (CERAMIC TILE)  
2"x2" TILE AND BASE (BASE UP TO 4") - MATCH EXISTING COLOR AND PATTERN (DALTILE OR EQUAL)
- CEILING**
- ACI-1 (2 x 2' SCRUBBABLE VINYL FACED ACOUSTICAL CEILING TILE)  
ARMSTRONG CLEAN ROOM VL #688 UNPERFORATED (OR EQUAL)
- ACI-2 (2 x 2' ACOUSTICAL CEILING TILE)  
REPAIR AND REPLACE EXISTING TILE AS REQ. MATCH EXISTING TILE AND GRID (OR EQUAL)
- MISCELLANEOUS**
- PLAM-01 (PLASTIC LAMINATE)  
WILSONART - DESIGNER WHITE D354-60 MATTE FINISH (OR EQUAL)
- TS-1 (TRANSITION STRIP)  
ROPPE #188 UNDERSLUG REDUCER (OR EQUAL) MATCH ADJ. FLOOR FINISH

### FINISH SCHEDULE REMARKS

ALL SCHEDULED DIRECTIONS (NORTH, EAST, SOUTH, WEST) ARE PER PLAN DIRECTIONS, NOT TRUE COMPASS DIRECTIONS.

ALL SCHEDULED CEILING HEIGHTS ARE FROM THE PRIMARY FLOOR LEVEL WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM AN ELEVATED FLOOR LEVEL, AND ARE NOT FROM A RECESSED FLOOR LEVEL.

ALL FINISH MATERIALS SHALL MEET FLAME SPREAD RATINGS PER THE BUILDING CODE.

PROTECT ALL FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.

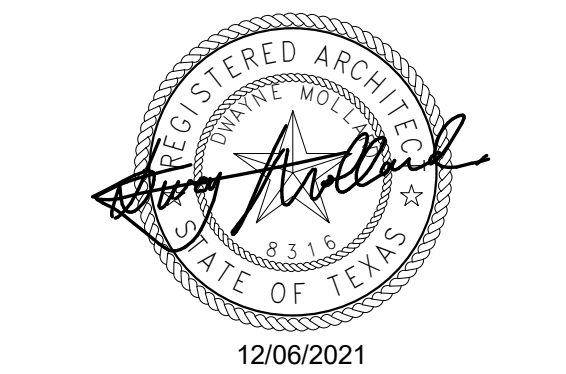
PAINT ALL NON-FACTORY FINISHED EXPOSED METAL.

PAINT ALL H.M. DOOR FRAMES TO MATCH EXISTING U.O.

- REFER TO CEILING PLANS
- HOLD-DOWN CLIPS AT SUSP. LAY-IN CEILING SYSTEM WITHIN 8'-0" MIN. ANY DIRECTION FROM AN EXTERIOR DOOR LOCATION

**AREA DEMO NOTES**

1. RELOCATE SPRINKLER HEADS AND FIRE ALARMS AS REQUIRED.

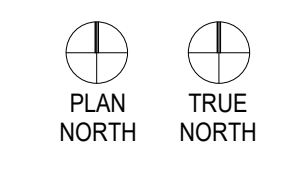


**MEP CONSULTANT:**  
 GK Engineers, LLC  
 5959 West Loop South, STE 385  
 Bellairre, TX 77401  
 tel. 713.988.8894  
 www.gk-mep.com

**FOOD SERVICE CONSULTANT:**  
 (FOR REFERENCE ONLY)  
 Foodservice Design Professionals  
 25317 Interstate 45  
 The Woodlands, TX 77380  
 tel. 281.350.2323  
 www.FDP.org

**HCC RENOVATIONS**

HCC NORTHEAST CAMPUS  
 550 COMMUNITY COLLEGE DR.  
 HOUSTON, TX 77013



Project No.: 2135

Drawing Date: 12/06/2021  
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 Scale: AS NOTED

Issue Log:

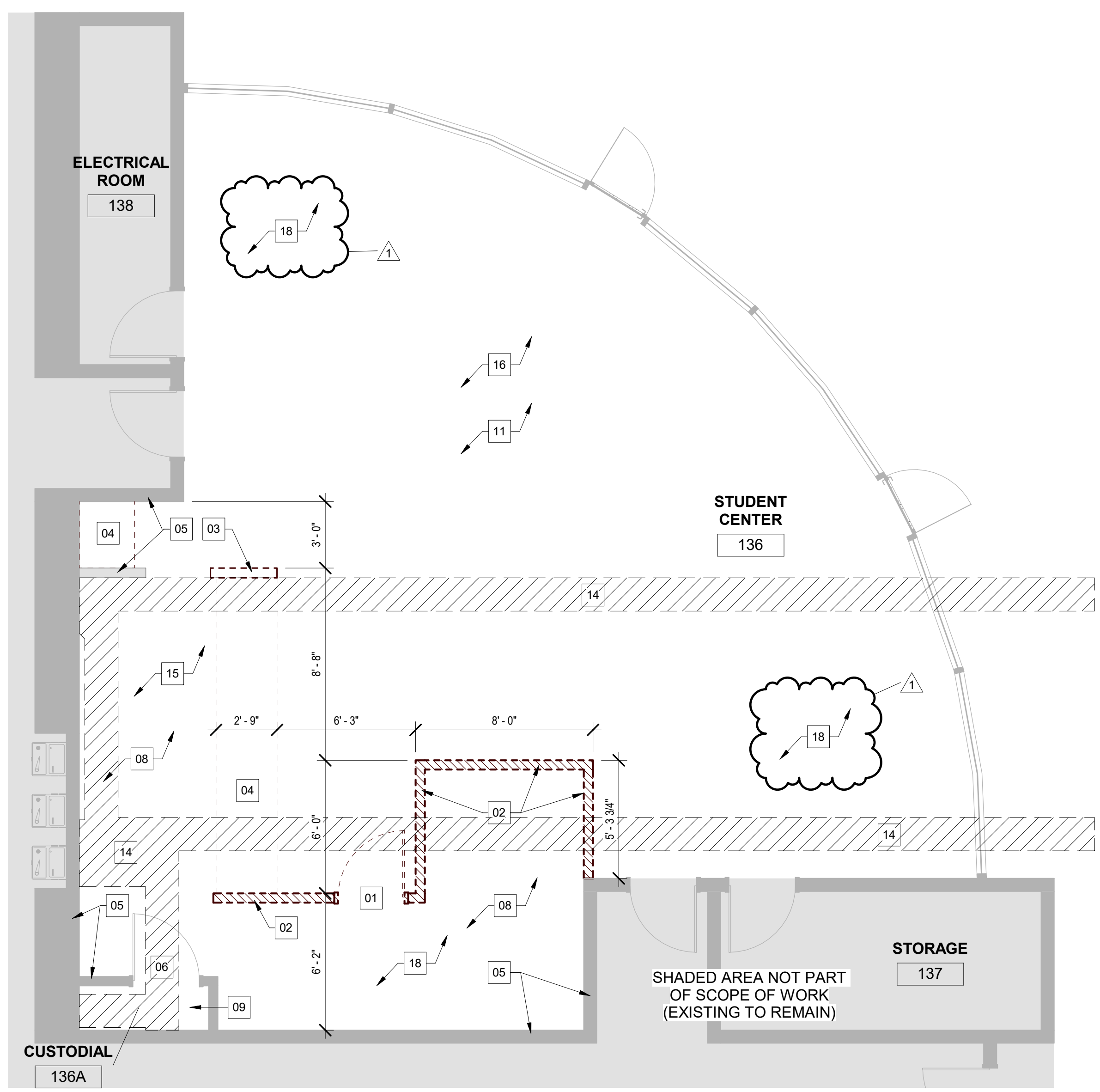
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Revisions:

No.	Description	Date
1	RFI REVISIONS	01-28-2022

DEMOLITION - KEY NOTES	
01	EXISTING DOOR TO BE REMOVED, TYP.
02	EXISTING FULL HEIGHT PARTITION (INCLUDING WALL BASE) TO BE REMOVED, TYP.
03	EXISTING HALF PARTITION TO BE REMOVED, TYP.
04	EXISTING CASEWORK TO BE REMOVED, TYP.
05	ALL HALF TONE PARTITIONS ARE EXISTING TO REMAIN, TYP.
06	EXISTING DOOR TO REMAIN, TYP.
07	EXISTING CONC. FLOOR SLAB TO BE REMOVED AND REPLACED WITH NEW CONC. SLAB, TYP.
08	EXISTING FOOD SERVICE EQUIPMENT TO BE REMOVED, VERIFY WITH OWNER, TYP.
09	REMOVE AND REPLACE EXISTING FRP
10	EXTENT OF NEW PARTITIONS, SHOWN AS SINGLE DASHED LINE, TYP.
11	EXISTING VCT FLOOR FINISH TO BE REMOVED AND REPLACED, TYP.
12	REMOVE GYP. FACE OF COLUMN TO PREPARE FOR NEW PARTITION, TYP.
13	EXISTING FLOOR FINISH TO BE REMOVED AND REPLACED AS REQUIRED FOR NEW PLUMBING LINE. INFILL CONC. AS REQ'D, MATCH EXISTING, RE. PLUMBING FOR DIMS, TYP.
14	SAWCUT CONC. SLAB FOR UNDER FLOOR SANITARY SEWER LINES. PATCH CONC. SLAB, RE. PLUMBING FOR WIDTH OF TRENCH, RE. STRUC DETAIL ON ARCH PLANS FOR EXIST. SLAB REPLACEMENT DETAIL
15	REMOVE CEILING TILE & GRID WITHIN AREA OF RENOVATION, TYP.
16	REMOVE CEILING TILE ONLY (GRID TO REMAIN), TYP.
17	EXISTING DOOR PANEL AND HARDWARE TO BE SALVAGED AND REUSED IN THE SAME LOCATION
18	REMOVE ALL PREVIOUS TENANT WALL FINISHES. PROVIDE SKIM COAT ON WALL. PREPARE FOR NEW PAINT.
19	WALL MOUNTED TACKBOARD AND WAYFINDING SIGNAGE TO BE REMOVED AND REINSTALLED, RE. FLOOR PLAN FOR NEW LOCATION
20	REMOVE EXISTING TERRAZO CURB WALL BASE ON PROPOSED DEMOLISHED WALLS, TYP.
21	REMOVE EXISTING CERAMIC TILE IN VESTIBULE, RE. FINISH SCHED FOR NEW TILE
22	REMOVE AND REPLACE EXISTING VCT IN STUDENT LOUNGE, RE. FINISH SHED
23	REMOVE AND SALVAGE CEILING LIGHTS FOR RELOCATION, COORD. WITH OWNER, RE. RCP FOR NEW LOCATION
24	EXISTING CEILING LIGHTS TO BE REMOVED, DELIVER TO OWNER, TYP.



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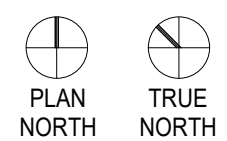


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**HCC RENOVATIONS**

HCC STAFFORD CAMPUS  
 4501 CASH ROAD  
 STAFFORD, TX 77477



Project No.: 2135

Drawing Date: 12/06/2021  
 Drawn: INITIALS HERE  
 Checked: INITIALS HERE  
 Scale: AS NOTED

Issue Log:

No.	Description	Date

Revisions:

No.	Description	Date
1	RFI REVISIONS	01-28-2022

**DEMOLITION PLAN AND SCHEDULES - HCC STAFFORD**

**D1.40**

**GENERAL DEMOLITION NOTES**

- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- CONTRACTOR SHALL REMOVE ANY AND ALL STRUCTURAL ELEMENTS OR CONTAMINATING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPAIRED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- CONTRACTOR SHALL RELOCATE UTILITIES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTROCAL, PLUMBING, AND TECHNOLOGY REQUIREMENTS FOR NEW WORK.
- PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOOTHING OF TRUNKS BY STOCKING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITH DRIP LINES.
- CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED FIRESTOPPING CONDITIONS.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK.
- SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND OR DEVICES FOR ALL SCOPE-OF-WORK PERTAINING TO NEW MECHANICAL WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SPLICE NEW REINFORCING BARS DOVetailed INTO EXISTING CONCRETE AND PROVIDE NEW VAPOR BARRIER AND NEW CONTINUOUS WATERSTOPPING JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE FLOOR SLAB. PATCH WITH NEW 3,500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH ARCHITECTURAL PLANS.
- EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
- NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LINTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS. COORDINATE LOCATIONS OF ALL NEW OPENINGS IN EXISTING WALLS AND PARTITIONS WITH ARCHITECTURAL PLANS.
- WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES, U.O.
- WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS.
- REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUB CONTRACTORS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS, CEILING WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS NOTED OTHERWISE.

**DEMOLITION - KEY NOTES**

- EXISTING DOOR TO BE REMOVED, TYP.
- EXISTING FULL HEIGHT PARTITION (INCLUDING WALL BASE) TO BE REMOVED, TYP.
- EXISTING HALF PARTITION TO BE REMOVED, TYP.
- EXISTING CASEWORK TO BE REMOVED, TYP.
- ALL HALF-TONE PARTITIONS ARE EXISTING TO REMAIN, TYP.
- EXISTING DOOR TO REMAIN, TYP.
- EXISTING CONC. FLOOR SLAB TO BE REMOVED AND REPLACED WITH NEW CONC. SLAB, TYP.
- EXISTING FOOD SERVICE EQUIPMENT TO BE REMOVED, VERIFY WITH OWNER, TYP.
- REMOVE AND REPLACE EXISTING FRP
- EXTENT OF NEW PARTITIONS, SHOWN AS SINGLE DASHED LINE, TYP.
- EXISTING VCT FLOOR FINISH TO BE REMOVED AND REPLACED, TYP.
- REMOVE GYP. FACE OF COLUMN TO PREPARE FOR NEW PARTITION, TYP.
- EXISTING FLOOR FINISH TO BE REMOVED AND REPLACED AS REQUIRED FOR NEW PLUMBING LINE. INFILL CONC. AS REQ'D, MATCH EXISTING, RE. PLUMBING FOR DIMS. TYP.
- SAWCUT CONC. SLAB FOR UNDER FLOOR SANITARY SEWER LINES. PATCH CONC. SLAB, RE. PLUMBING FOR WIDTH OF RENCH. RE. STRUC DETAIL ON ARCH PLANS FOR EXIST. SLAB REPLACEMENT DETAIL
- REMOVE CEILING TILE & GRID WITHIN AREA OF RENOVATION, TYP.
- REMOVE CEILING TILE ONLY (GRID TO REMAIN), TYP.
- EXISTING DOOR PANEL AND HARDWARE TO BE SALVAGED AND REUSED IN THE SAME LOCATION
- REMOVE ALL PREVIOUS TENANT WALL FINISHES. PROVIDE SKIM COAT ON WALL. PREPARE FOR NEW PAINT.
- WALL MOUNTED TACKBOARD AND WAYFINDING SIGNAGE TO BE REMOVED AND REINSTALLED, RE. FLOOR PLAN FOR NEW LOCATION
- REMOVE EXISTING TERRAZZO CURB/WALL BASE ON PROPOSED DEMOLISHED WALLS, TYP.
- REMOVE EXISTING CERAMIC TILE IN VESTIBULE, RE. FINISH SCHED FOR NEW TILE
- REMOVE AND REPLACE EXISTING VCT IN STUDENT LOUNGE, RE. FINISH SHED
- REMOVE AND SALVAGE CEILING LIGHTS FOR RELOCATION, COORD. WITH OWNER, RE. RCP FOR NEW LOCATION
- EXISTING CEILING LIGHTS TO BE REMOVED, DELIVER TO OWNER, TYP.

**FINISH LEGEND**

- WALLS**
- PT-01 (PAINT) - FIELD COLOR  
 MATCH EXISTING COLOR AND FINISH, REPAIR AS REQ'D.  
 SHERWIN WILLIAMS (OR EQUAL)
- PT-02 (PAINT) - FIELD COLOR  
 SHERWIN WILLIAMS EPOXY PAINT  
 PURE WHITE SW7005 (OR EQUAL)
- CEILING**
- ACT-1 (2" X 2" SCRUBBABLE VINYL FACED ACOUSTICAL CEILING TILE)  
 ARMSTRONG CLEAN ROOM VL 8888  
 UNPERFORATED (OR EQUAL)
- ACT-2 (2" X 2" ACOUSTICAL CEILING TILE)  
 REPAIR AND REPLACE EXISTING TILE AS REQ.  
 MATCH EXISTING TILE AND GRID (OR EQUAL)

- BASE**
- WB-01 (WALL BASE)  
 MATCH EXISTING  
 ROPPE - 4" VINYL WALL BASE (OR EQUAL)
- UE-2 (URETHANE WALL BASE SYSTEM)  
 BASF MASTER BUILDER SOLUTIONS -  
 UCURETE RG UP TO 4" (OR EQUAL)
- TE-2 (TERRAZZO WALL BASE)  
 MATCH EXISTING COLOR AND PATTERN  
 (OR EQUAL)
- MISCELLANEOUS**
- PLAM-01 (PLASTIC LAMINATE)  
 WILSONART - DESIGNER WHITE D354-60  
 MATTE FINISH (OR EQUAL)
- TS-1 (TRANSITION STRIP)  
 ROPPE #168 UNDERSLUNG REDUCER (OR EQUAL)  
 (MATCH ADJ. FLOOR FINISH)

- FLOORING**
- UE-1 (URETHANE FLOORING SYSTEM)  
 BASF MASTER BUILDER SOLUTIONS -  
 UCURETE HPIF (OR EQUAL)
- PC-1 (POLISHED CONCRETE)  
 MATCH EXISTING COORDINOR  
 RETROPLATE CLEAR 800 GRIT (OR EQUAL)
- VCT-1 (VINYL COMPOSITE TILE)  
 MATCH EXISTING COLOR AND FINISH  
 (TARKETT OR EQUAL)
- VCT-A (VINYL COMPOSITE TILE)  
 TARKETT - 1341 BEIGE (OR EQUAL)
- VCT-B (VINYL COMPOSITE TILE)  
 TARKETT - 1328 BLACKWHITE (OR EQUAL)
- VCT-C (VINYL COMPOSITE TILE)  
 TARKETT - 1365 DARK TAUPE (OR EQUAL)
- TE-1 (TERRAZZO TILE)  
 MATCH EXISTING COLOR AND PATTERN  
 (OR EQUAL)
- CT-1 (CERAMIC TILE)  
 2" X 2" TILE AND BASE (BASE UP TO 4") - MATCH EXISTING COLOR  
 AND PATTERN (DA TILE OR EQUAL)

**FINISH SCHEDULE REMARKS**

- ALL SCHEDULED DIRECTIONS (NORTH, EAST, SOUTH, WEST) ARE PER PLAN DIRECTIONS, NOT TRUE COMPASS DIRECTIONS.
- ALL SCHEDULED CEILING HEIGHTS ARE FROM THE PRIMARY FLOOR LEVEL WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM A RECESSED FLOOR LEVEL.
- ALL FINISH MATERIALS SHALL MEET FLAME SPREAD RATINGS PER THE BUILDING CODE.
- PROTECT ALL FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
- PAINT ALL NON-FACTORY FINISHED EXPOSED METAL.
- PAINT ALL H.M. DOOR FRAMES TO MATCH EXISTING U.O.
- REFER TO CEILING PLANS
  - HOLD-DOWN CLIPS AT SUP. LAY-IN CEILING SYSTEM WITHIN 8'-0" MIN. ANY DIRECTION FROM AN EXTERIOR DOOR LOCATION

FINISH SCHEDULE - HCC STAFFORD (AREA D)										
ROOM NUMBER	ROOM NAME	FLOOR FINISH		WALL FINISH				CEILING FINISH	CEILING HEIGHT	REMARKS
		EXISTING/TF-1	TF-2	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL			
155	STUDENT LOUNGE	EXISTING/TF-1	TF-2	-	PT-01	PT-01	PT-01	ACT-2	RE. RCP (EXISTING)	PATCH AND REPAIR TERRAZZO FLOOR FINISH AS REQ'D
155A	FOOD SERVICE AREA	EXISTING/TF-1	TF-2	-	PT-02	PT-02	PT-02	ACT-1	RE. RCP	
155B	KITCHEN	EXISTING/TF-1	TF-2	PT-02	PT-02	PT-02	PT-02	ACT-1	RE. RCP	
158	CORRIDOR	EXISTING/VCT-1	EXISTING/WB-01	PT-01	PT-01	PT-01	-	EXISTING	RE. RCP (EXISTING)	PATCH EXISTING FLOOR AND WALLS AS REQ. (MATCH EXISTING)

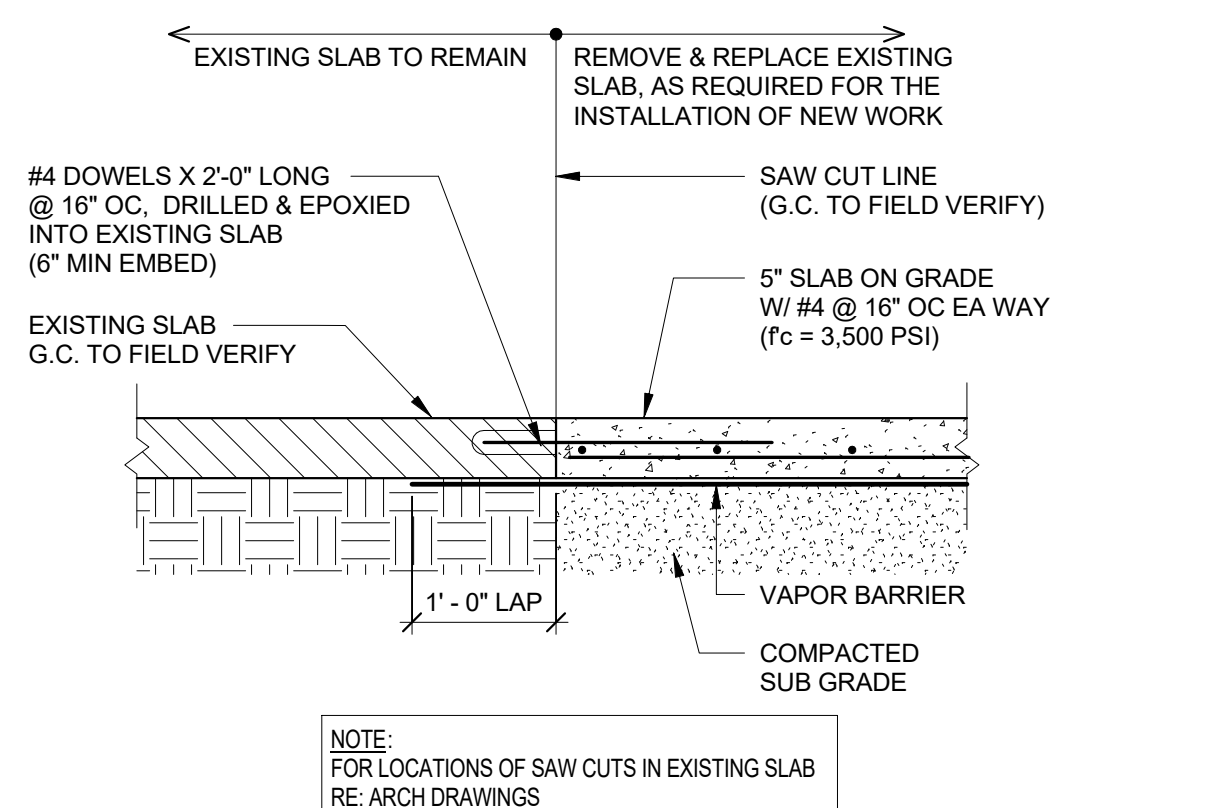
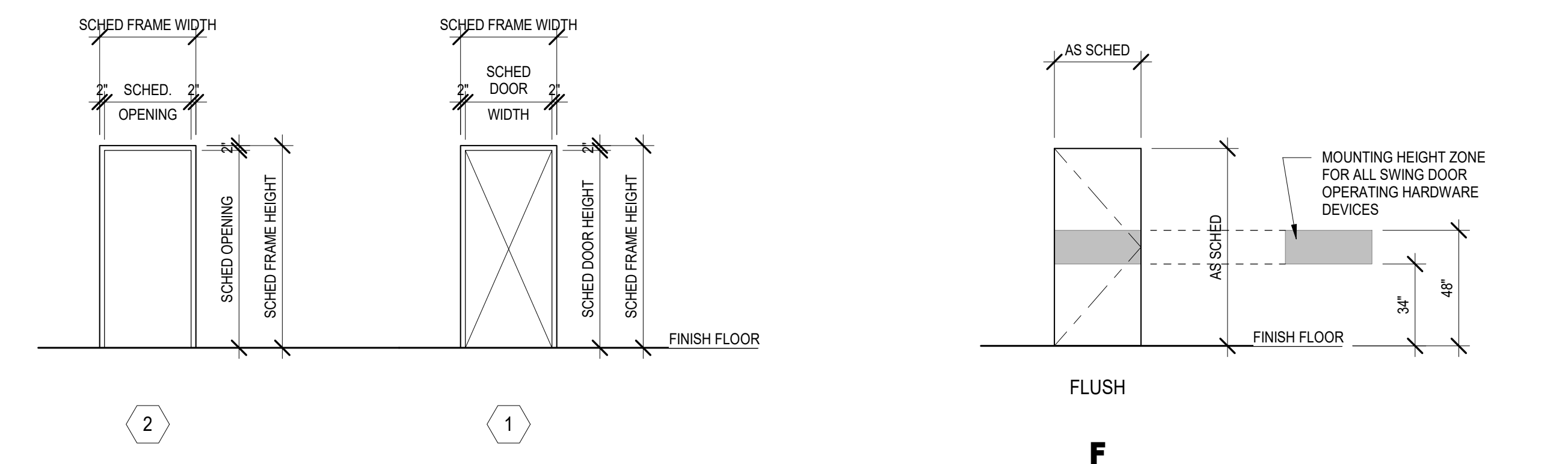
**GENERAL NOTES:**

- FINISHES PROVIDED SHALL COMPLY WITH INTERNATIONAL BUILDING CODE (IBC) 2012 WITH CITY OF HOUSTON AMENDMENTS PER TABLE 803.9 AND SHALL BE A MINIMUM OF CLASS C.

DOOR SCHEDULE - HCC STAFFORD (AREA D)													
MARK	ELEV.	DOOR PANEL / OPENING			DOOR FRAME				SILL	JAMB	HEAD	H.W.	REMARKS
		W	H	Door Material	ELEV.	Frame Material	FINISH	H.M.					
155A	-	4'-0"	7'-0"	SCWD	2	H.M.	-	5/8"Z.01	11/8"Z.01	10/8"Z.01			4'-0" X 7'-0" CASSED OPENING
155B	F	3'-0"	7'-0"	SCWD	1	H.M.	-	4/4"Z.01	10/8"Z.01	10/8"Z.01			NOTE 1 18" STUD

**GENERAL NOTES:**

- REFER TO SPECIFICATION SECTION 087100 FOR DOOR HARDWARE SCHEDULE

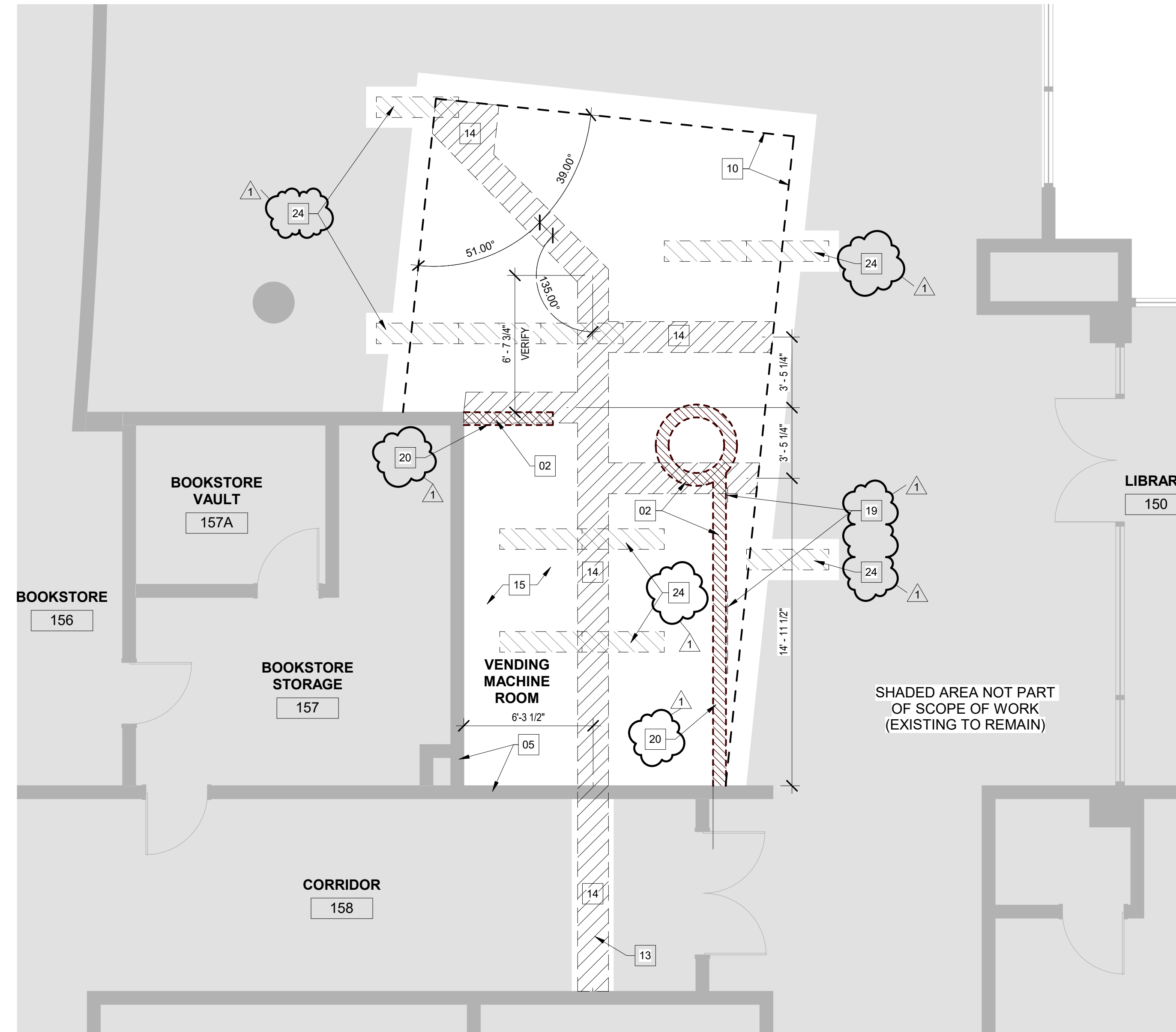


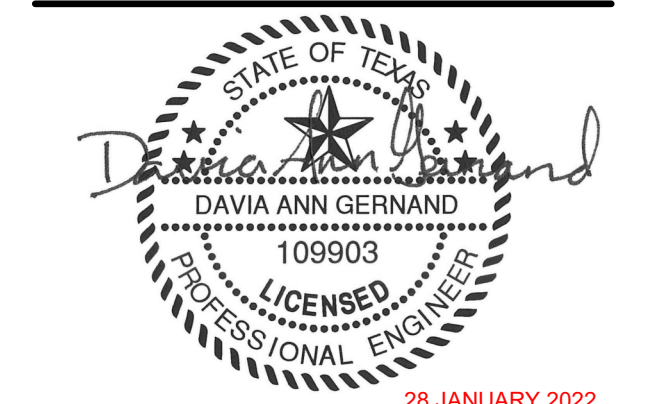
**18 EXISTING SLAB REPLACEMENT DETAIL**

3/4" x 1'-0"

**AREA DEMO NOTES**

- RELOCATE SPRINKLER HEADS AND FIRE ALARMS AS REQUIRED.
- RELOCATE EXISTING LIGHTS AS REQUIRED.





MEP CONSULTANT:  
GK Engineers, LLC  
5959 West Loop South, STE 350  
Bellaire, TX 77401  
tel. 713.988.8894  
www.gk-mep.com

**PANEL: LK**  
LOCATION: KITCHEN 155B  
SUPPLY FROM: TLK  
MOUNTING: SURFACE  
ENCLOSURE: Type 4X-SS

VOLTS: 120/208 Wye  
PHASE: 3  
WIRE: 4

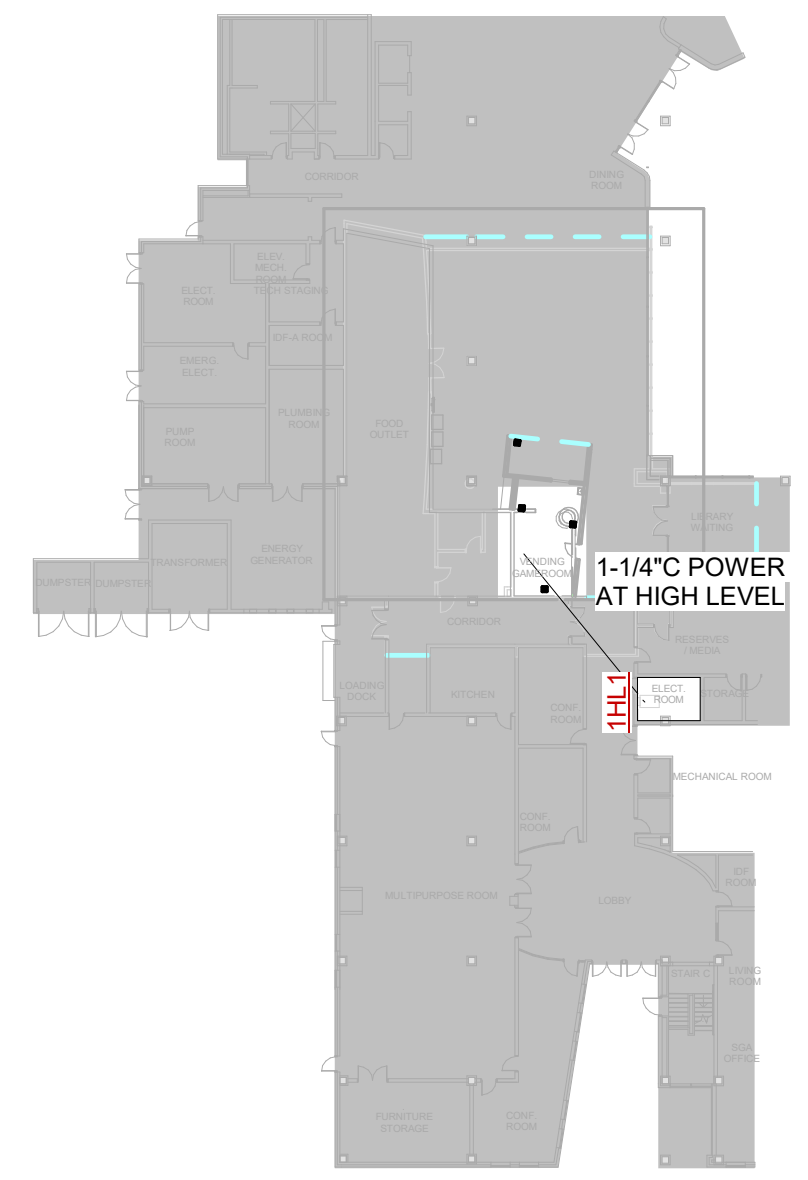
A.I.C. RATING: 14000  
BUS RATING: 150 A  
MAIN CB: 150 A

CKT	CIRCUIT DESCRIPTION	LC	CT	TRIP	POLES	A	B	C	POLES TRIP	CT	LC	CIRCUIT DESCRIPTION	CKT
3	(3) RCPT - KITCHEN	Receptacle	3	20 A	1	0.60 kVA	1.00 kVA		1	20 A	3	Receptacle... (2) RCPT - KITCHEN - CP-1	2
6	(3) RCPT - FOOD SERVICE	Receptacle	3	20 A	1	0.60 kVA	1.00 kVA	1.60 kVA	1	20 A	2	Other (2) RCPT - FOOD SERVICE	6
7	(1) RCPT - VENDING MACHINE	Receptacle	1	20 A	1	1.50 kVA			1	20 A	11	Lighting LIGHTING - KITCHEN	8
9	(1) RCPT - VENDING MACHINE	Receptacle	1	20 A	1	0.50 kVA							10
11	(1) RCPT - VENDING MACHINE	Receptacle	1	20 A	1	1.50 kVA							12
13													14
15													16
17													18
19													20
21													22
23													24
25													26
27													28
29													30
31													32
33													34
35													36
37													38
39													40
41													42

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS
Lighting	0.38 kVA	125.00%	0.47 kVA	TOTAL CONN. LOAD: 5.08 kVA
Other	1.00 kVA	100.00%	1.00 kVA	TOTAL EST. DEMAND: 5.17 kVA
Receptacle	3.70 kVA	100.00%	3.70 kVA	TOTAL CONN.: 14 A
Plumbing - Pumps	0.00 kVA	0.00%	0.00 kVA	TOTAL EST. DEMAND: 14 A
<b>TOTAL LOAD:</b>	<b>1.50 kVA</b>	<b>2.10 kVA</b>	<b>1.48 kVA</b>	
<b>TOTAL AMPS:</b>	<b>13 A</b>	<b>18 A</b>	<b>12 A</b>	

GENERAL NOTES:  
1. REFER TO ARCHITECTURAL PLANS FOR GRID/FLANGE AREAS, PRIOR TO BIDDING OF LIGHT FIXTURES. CONTRACTOR IS RESPONSIBLE FOR QUANTITY OF EACH.  
2. COORDINATE MOUNTING HEIGHT OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.  
3. PROVIDE AN ADDITIONAL NON-SWITCHED HOT LEG TO ALL EMERGENCY FIXTURES FOR BATTERY CHARGING AND POWER-LOSS DETECTION.  
4. PROVIDE AN EXTRA HOT AND SPICE AROUND CONTRACTORS/CONTROLLERS IF NECESSARY.  
5. ALL EXIT SIGNS ARE TO BE NON-SWITCHED.  
6. ALL FIXTURE SUBSTITUTIONS SHALL BE SUBMITTED TO THE A/E PRIOR TO BID. EQUALS MUST CONFORM TO LUMENS PER WATT AND PHOTOMETRIC PERFORMANCE.

NOTES: USE 2#12Cu + 1#12G IN 3/4" FOR 20A/HP BREAKER U.O.N. MAX 3 SINGLE PHASE CIRCUITS PER CONDUIT - 9 CONDUCTORS  
\*GFI BREAKER  
\*\*NON-COINCIDENT LOADS (LARGER OF TWO CALCULATED)



**ELECTRICAL KEYED NOTES**

1. CONTRACTOR SHALL PROVIDE AND WIRE A NEW VACANCY SENSOR FOR THIS NEW SPACE. THE SENSOR IS A "MANUAL-ON" DEVICE THUS COMPLYING WITH THE NEWEST ENERGY CODES.

**IECC 2015 CONFORMANCE**

LIGHTING DESIGN COMPLIES WITH THE CURRENT ENERGY CODES (IECC 2015). WIRING IS ONLY SHOW TO CONNECT TO THE LIGHTING CIRCUIT ALREADY PULLED TO THE ZONE. THE LED LIGHTING IS LESS THAN HALF THE WATTAGE OF THE ORIGINAL FIXTURES.

TIME SWITCH CONTROLS APPLIES TO NEW SPACES/OFFICES NOT PROVIDED WITH OCCUPANCY SENSOR CONTROL. ALL SPACES SHALL HAVE SOME FORM OF AUTOMATIC CONTROL (SEE KEYED NOTES).

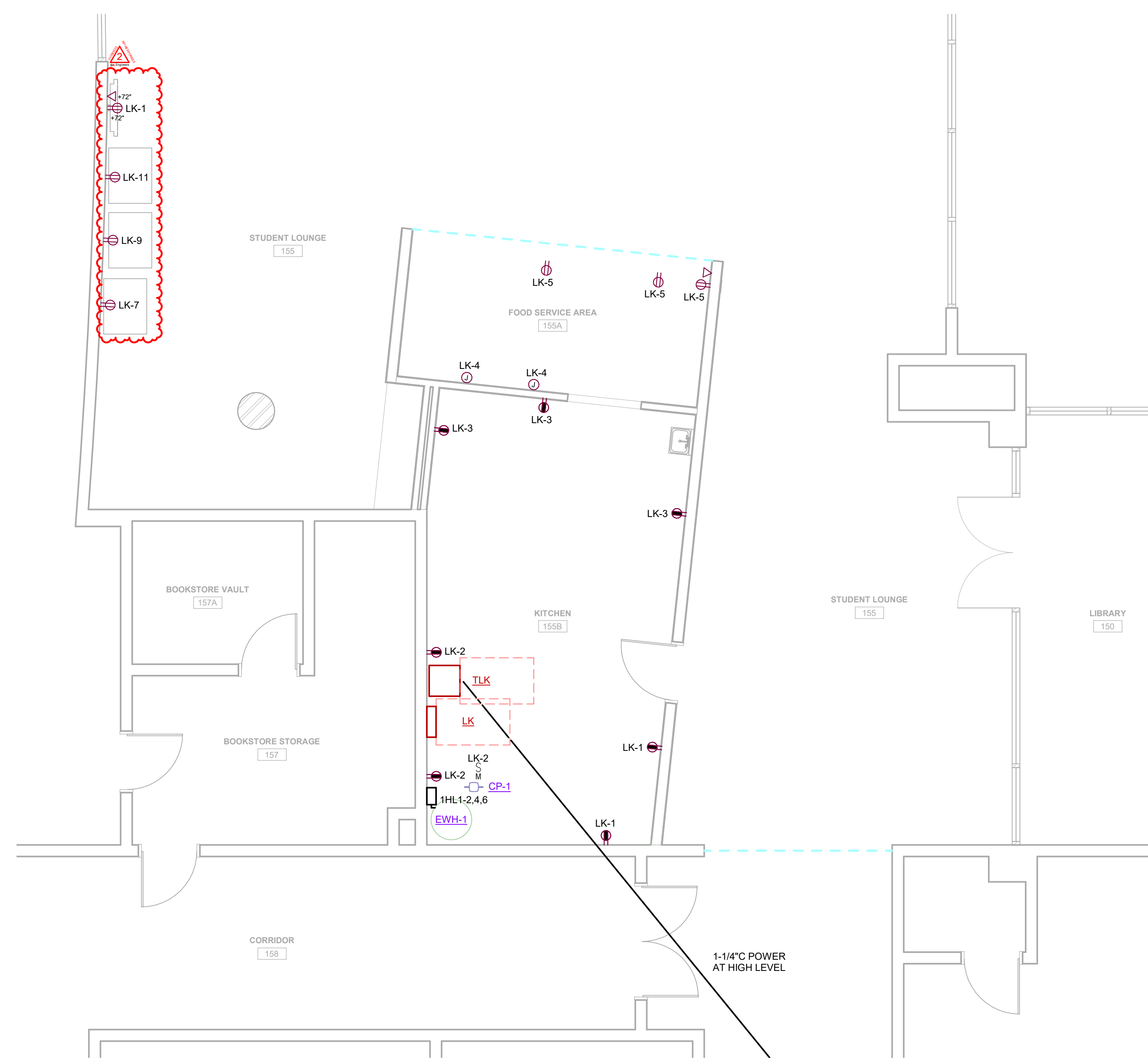
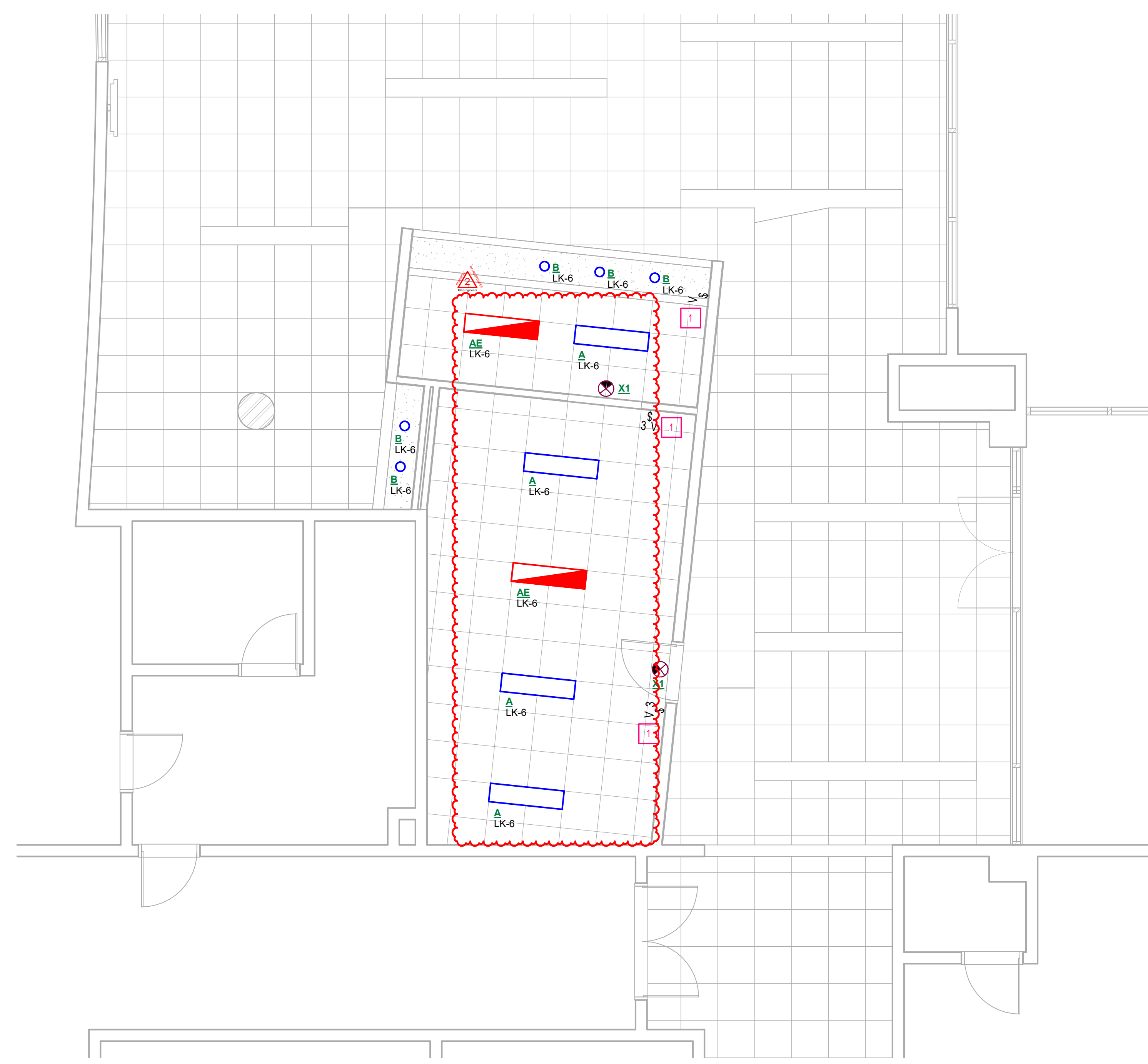
**3 HCC STAFFORD OVERALL PLAN - E**  
1" = 40'-0"

**LIGHTING FIXTURE SCHEDULE**

CONTRACTOR SHALL COORDINATE WITH ARCHITECT/OWNER FOR ALL FINAL SELECTIONS, LOCATIONS, QUANTITIES, ETC.

Leg	Manufacturer	Model Number	Mounting	Voltage	Wattage	Lumens	Type	Description
A	COLUMBIA LIGHTING	LCAT14-40HLG-EDU	RECESSED	120 V	40 W	LED	1x4 LED LAY-IN FLANGE FIXTURE	
AE	COLUMBIA LIGHTING	LCAT14-40HLG-EDU-EL14	RECESSED	120 V	40 W	LED	1x4 LED LAY-IN FLANGE FIXTURE	
B	PRESCOLITE	LCBSC-DIM-EM-90CSL-18C-10K-3-WH-WY	RECESSED	120 V	24 W	LED	6" LED RECESSED DOWNLIGHT WITH DIMMING DRIVER, 1800 LUMENS	
X1	COMPASS	CELS1RNE // CELS2RNE	WALL/CEILING	120 V	5 W	LED	NEW EXIT SIGN WITH BATTERY BACKUP FOR A MINIMUM 90MIN ILLUMINATION. CIRCUIT TO NEAREST NON-SWITCHED HOT LEG.	

GENERAL NOTES:  
1. REFER TO ARCHITECTURAL PLANS FOR GRID/FLANGE AREAS, PRIOR TO BIDDING OF LIGHT FIXTURES. CONTRACTOR IS RESPONSIBLE FOR QUANTITY OF EACH.  
2. COORDINATE MOUNTING HEIGHT OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.  
3. PROVIDE AN ADDITIONAL NON-SWITCHED HOT LEG TO ALL EMERGENCY FIXTURES FOR BATTERY CHARGING AND POWER-LOSS DETECTION.  
4. PROVIDE AN EXTRA HOT AND SPICE AROUND CONTRACTORS/CONTROLLERS IF NECESSARY.  
5. ALL EXIT SIGNS ARE TO BE NON-SWITCHED.  
6. ALL FIXTURE SUBSTITUTIONS SHALL BE SUBMITTED TO THE A/E PRIOR TO BID. EQUALS MUST CONFORM TO LUMENS PER WATT AND PHOTOMETRIC PERFORMANCE.

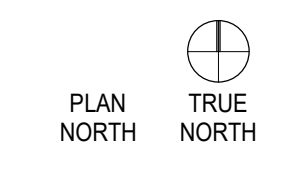


**2 LEVEL 1 - FLOOR PLAN - LIGHTING**  
1/4" = 1'-0"

**1 LEVEL 1 - FLOOR PLAN - POWER**  
1/4" = 1'-0"

HCC FOOD SERVICE RENOVATIONS

HCC STAFFORD CAMPUS  
CASH ROAD  
STAFFORD, TX 77477



Project No.: 2135

Drawing Date: 11/09/2021  
Drawn: INITIALS HERE  
Checked: INITIALS HERE  
Scale: AS NOTED

Issue Log:

No.	Description	Date

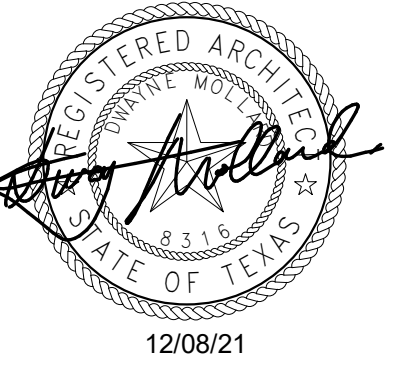
Revisions:

No.	Description	Date
1	ISSUE FOR PRICING	11/09/2021
2	RFI RESPONSES	01/28/2022

FLOOR PLAN - ELECTRICAL

**E4.21**



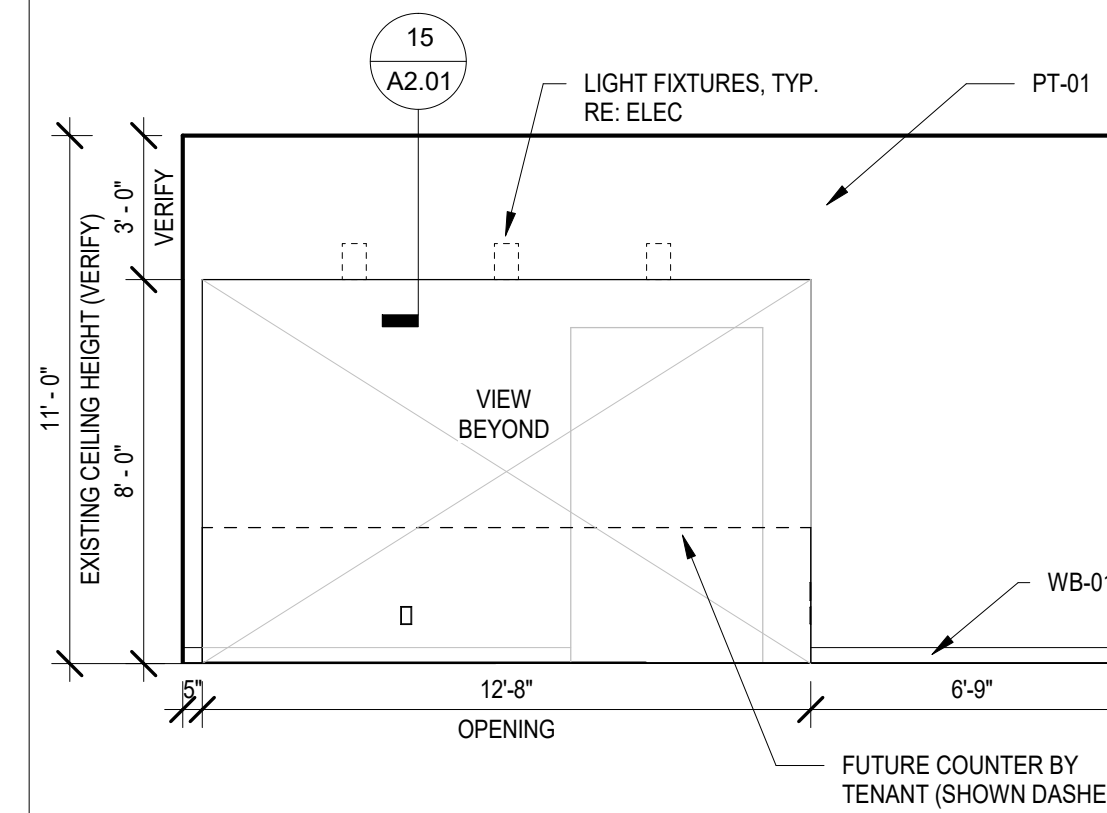
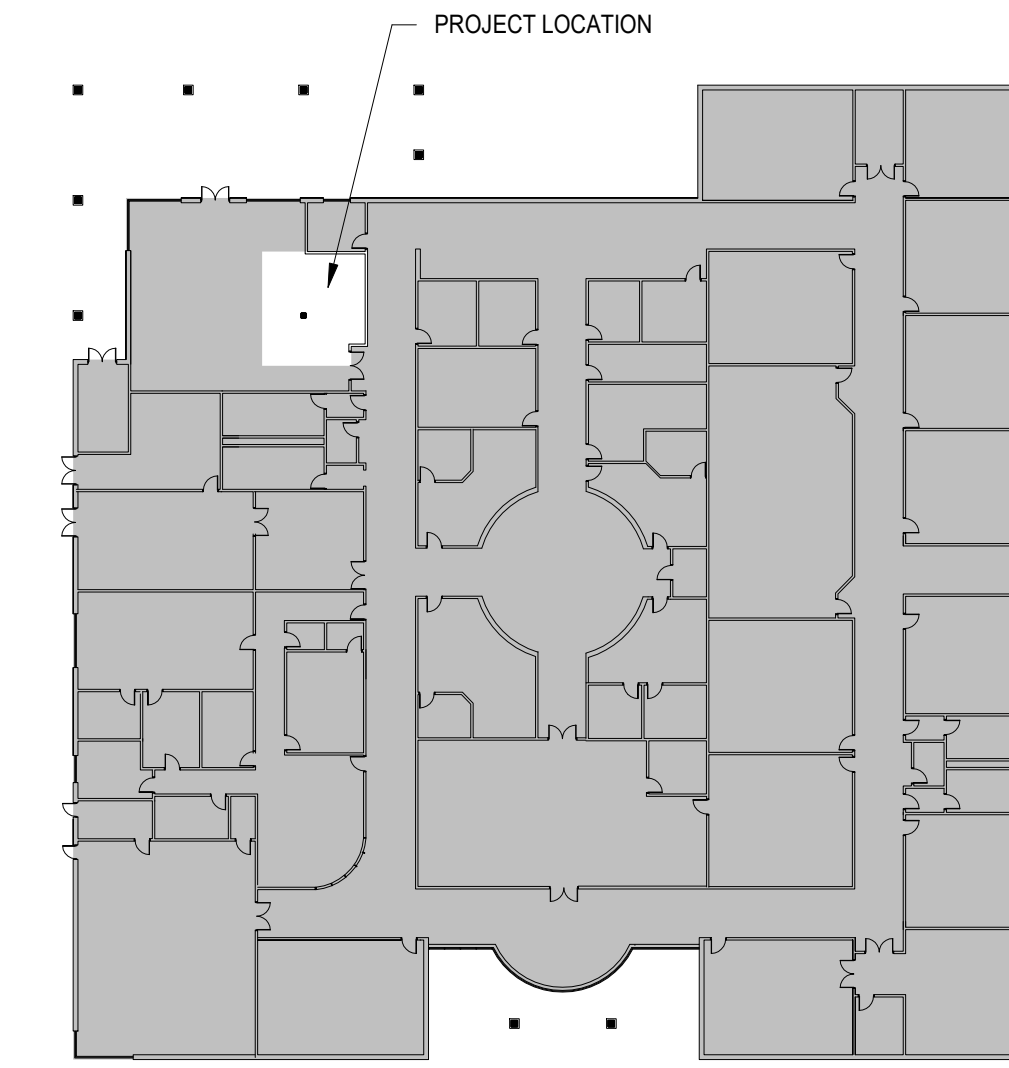


**MEP CONSULTANT:**  
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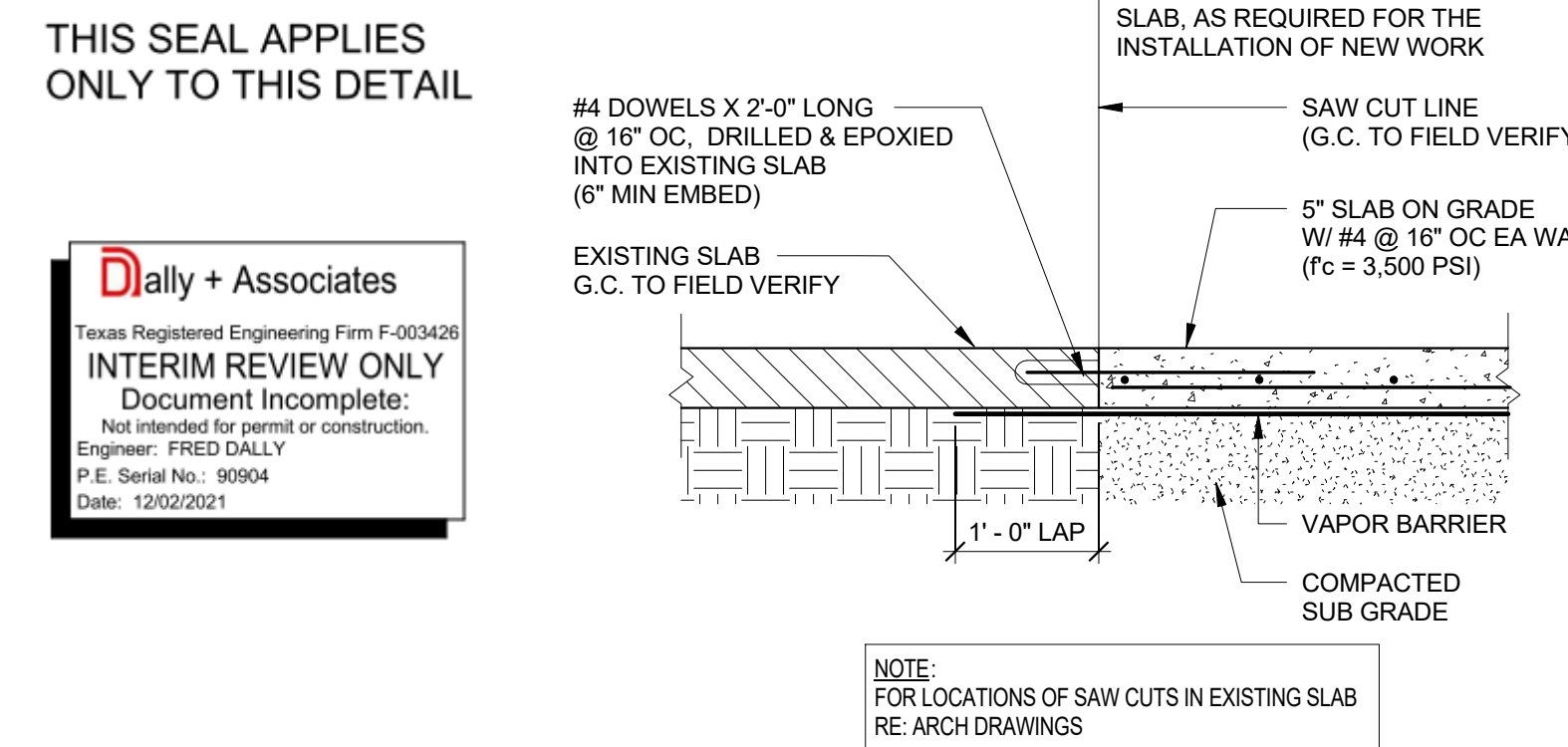
**FOOD SERVICE CONSULTANT:**  
**(FOR REFERENCE ONLY)**  
Foodservice Design Professionals  
25317 Interstate 45  
The Woodlands, TX 77380  
tel. 281.350.2323  
www.FDP.org

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTACT ARCH IF CLARIFICATION IS NECESSARY IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS.
- DRAWINGS NOTED AS "N.T.S." OR "NTS" ARE NOT TO SCALE.
- ALL DIMENSIONS ARE TO STRUCTURAL COLUMN LINES OR THE FACE OF FINISHED SURFACES UNLESS NOTED OTHERWISE.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITION BEFORE COMMENCING WORK. NOTIFY ARCH. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- NOTES OR DIMENSIONS NOTED AS "TYPICAL" OR "TYP." OR "TYP" SHALL APPLY TO CONDITIONS THAT ARE THE SAME OR SIMILAR.
- DIMENSIONS NOTED AS "FIELD VERIFY" OR "F.V." OR "VF" SHALL BE MEASURED AND CONFIRMED AT THE PROJECT SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCH. BEFORE INCORPORATING INTO THE WORK.
- DIMENSIONS NOTED AS "CLEAR" OR "CLEAR INSIDE" REQUIRE SPECIFIC COORDINATION AMONG DISCIPLINES AND OR MANUFACTURERS.
- REFER TO PARTITION TYPES ON A7.00 SERIES SHEETS.
- ALIGN FINISHED FACE OF WALLS WHERE WALL PARTITIONS OF DIFFERING THICKNESS ABUT AND OR ADJOIN IN THE SAME PLANE.
- PROVIDE AND INSTALL CONT. REVEAL TRIM AT JOINT WHERE GYPSUM BOARD WALL PARTITIONS ABUT AND OR ADJOIN MASONRY WALL PARTITIONS IN THE SAME PLANE.
- ALL DOORS SHALL BE SET 6 INCHES OFF THE ADJACENT PERPENDICULAR WALL ON THE HINGE SIDE OF THE DOOR UNLESS NOTED OTHERWISE.
- COORD. ALL ROOF DRAIN LEADER LOCATIONS WITH FLOOR PLAN PRIOR TO FLOOR SLAB CONSTRUCTION.
- ALL FLOOR SLOPES TO FLOOR DRAINS SHALL NOT EXCEED 1/48.
- PROVIDE AND INSTALL SELF-LEVELING UNDERLAYMENT WHERE UNEVEN FLOOR SLAB EXISTS PRIOR TO INSTALLATION OF FLOOR FINISHES.
- COORD. HOUSEKEEPING PAD LOCATIONS AND DIMENSIONS WITH EQUIPMENT TO BE INSTALLED.
- ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
- ALL FLOOR FINISH MATERIAL CHANGES SHALL HAVE REDUCER STRIPS.
- ALL REQUIRED ACCESSIBLE CLEARANCES FOR ALL ITEMS, INCLUDING BUT NOT LIMITED TO ALL COUNTER TOPS, ALL PLUMBING FIXTURES, ALL DRINKING FOUNTAINS, ALL ELECTRIC WATER COOLERS, ALL LAVATORIES, ALL URINALS, ALL TOILETS SHALL BE STRICTLY ENFORCED.
- APPLY BITUMINOUS COATING TO ALL CONCEALED STRUCTURAL STEEL MEMBERS AT ALL EXTERIOR CANOPY LOCATIONS.
- REFER TO OTHER DISCIPLINE DOCUMENTS FOR ADDITIONAL SCOPE OF WORK.



**21 FRONT CASEWORK ELEVATION**  
1/4" = 1'-0"

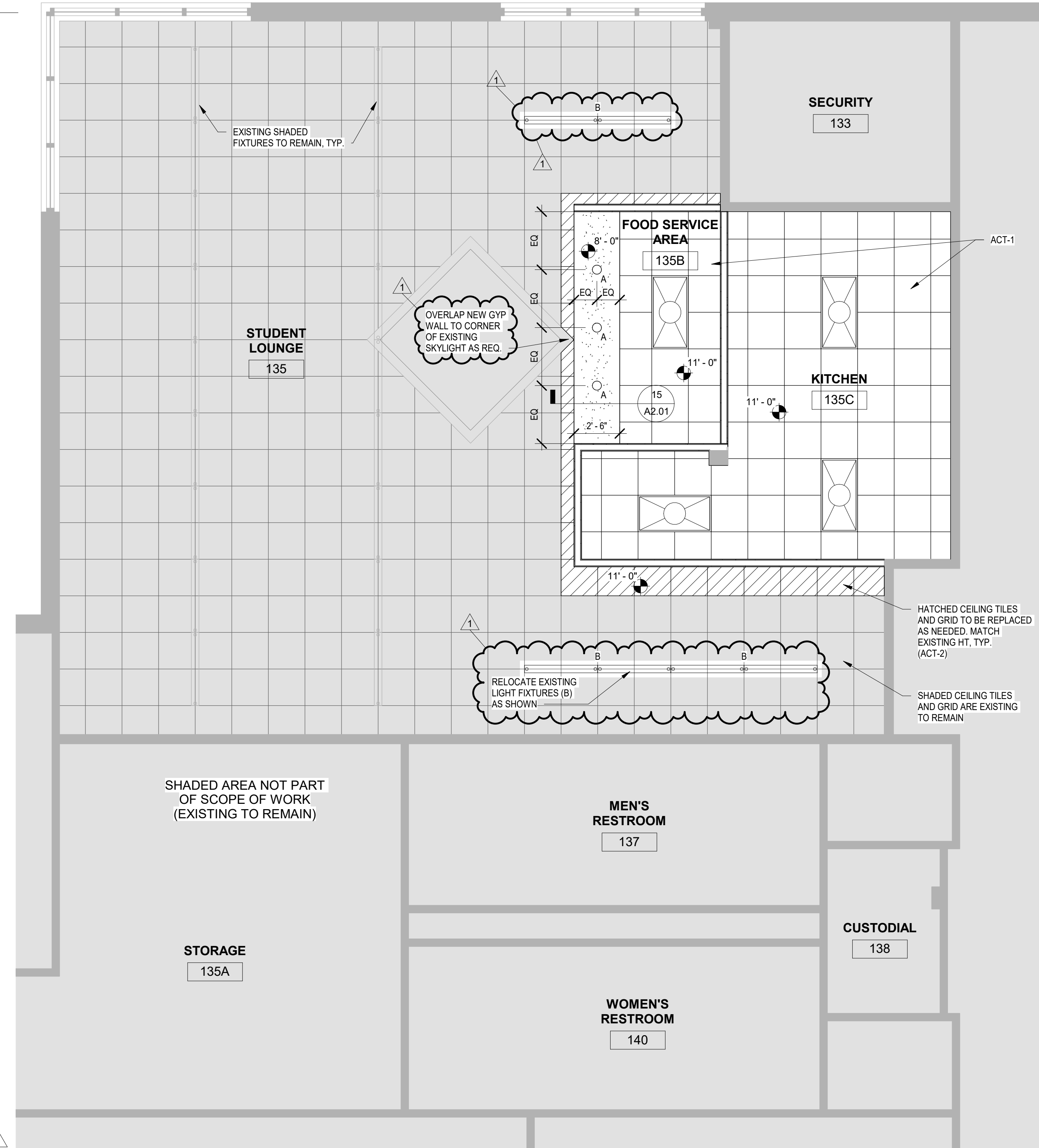


**23 EXISTING SLAB REPLACEMENT DETAIL**  
3/4" = 1'-0"

**20 HCC CENTRAL SOUTH OVERALL PLAN**  
1" = 40'-0"

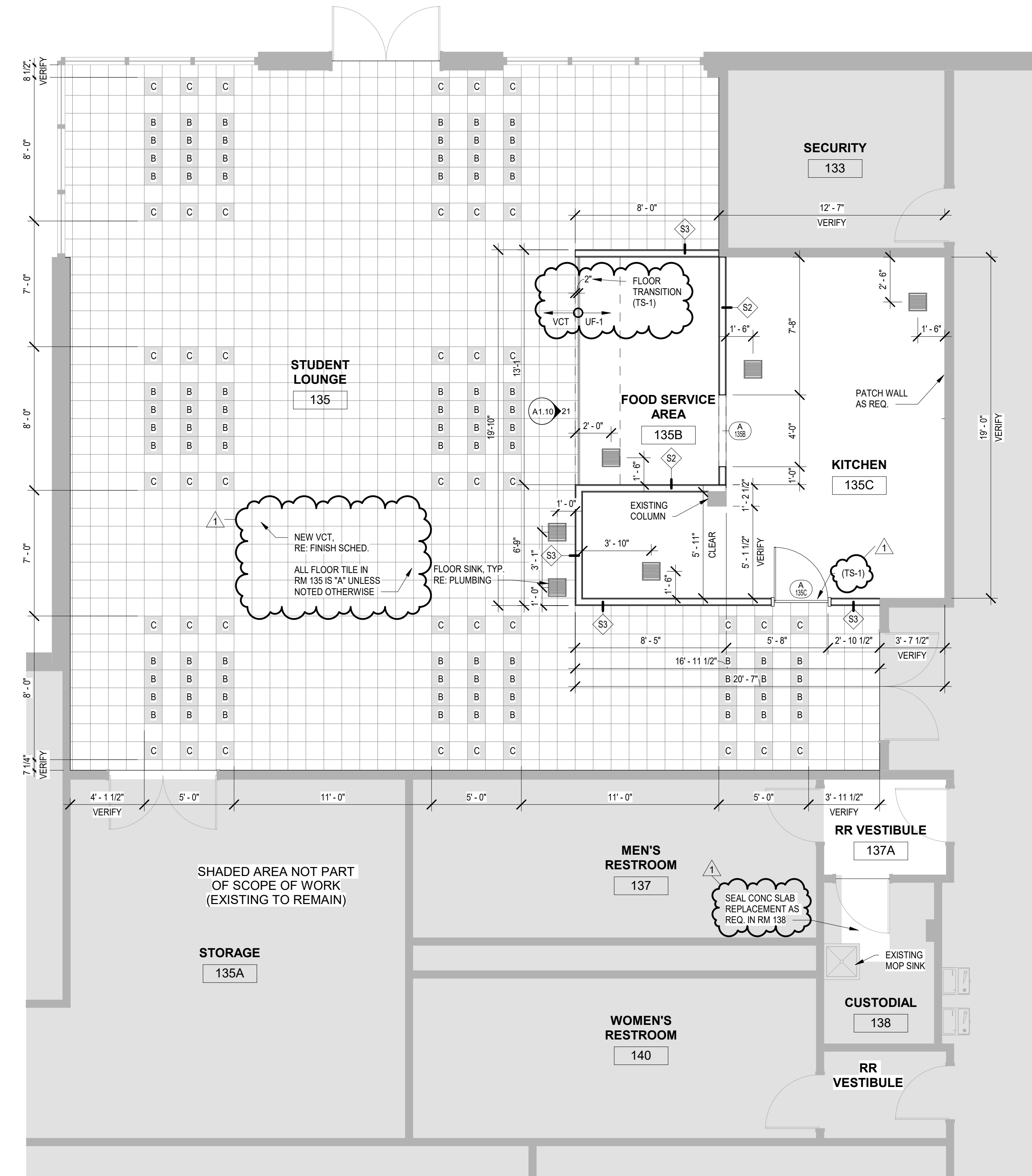
**CEILING MATERIALS LEGEND**

- ACT-TYPE 1 - 2' x 2' ACOUSTIC PANEL  
RE: FINISH SCHEDULE  
(SCRUBBABLE CEILING TILE)
- ACT-TYPE 2 - 2' x 2' ACOUSTIC PANEL  
RE: FINISH SCHEDULE  
(MATCH EXISTING CEILING TILE AND GRID)
- GYPSUM BOARD  
RE: FINISH SCHEDULE
- 2' x 4' LED LIGHT FIXTURE  
RE: ELEC
- 6" RECESSED DOWNLIGHT  
RE: ELEC
- REUSED/RELOCATED EXISTING LINEAR LIGHT PENDANTS  
RE: ELEC



**AREA NOTES**  
1. PAINT ALL SIDES OF FURREDOWNS W/ PT-02

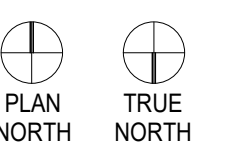
**6 REFLECTED CEILING PLAN - HCC CENTRAL SOUTH**  
1/4" = 1'-0"



**3 FLOOR PLAN - HCC CENTRAL SOUTH**  
1/4" = 1'-0"

**HCC RENOVATIONS**

HCC CENTRAL SOUTH CAMPUS  
1500 AIRPORT BLVD.  
HOUSTON, TX 77051



Project No.: 2135

Drawing Date: 12/08/21  
Drawn: INITIALS HERE  
Checked: INITIALS HERE  
Scale: AS NOTED

Issue Log:

No.	Description	Date

Revisions:

No.	Description	Date
1	RFI REVISIONS	01-28-2022

**PLANS - HCC CENTRAL SOUTH**

**A1.10**

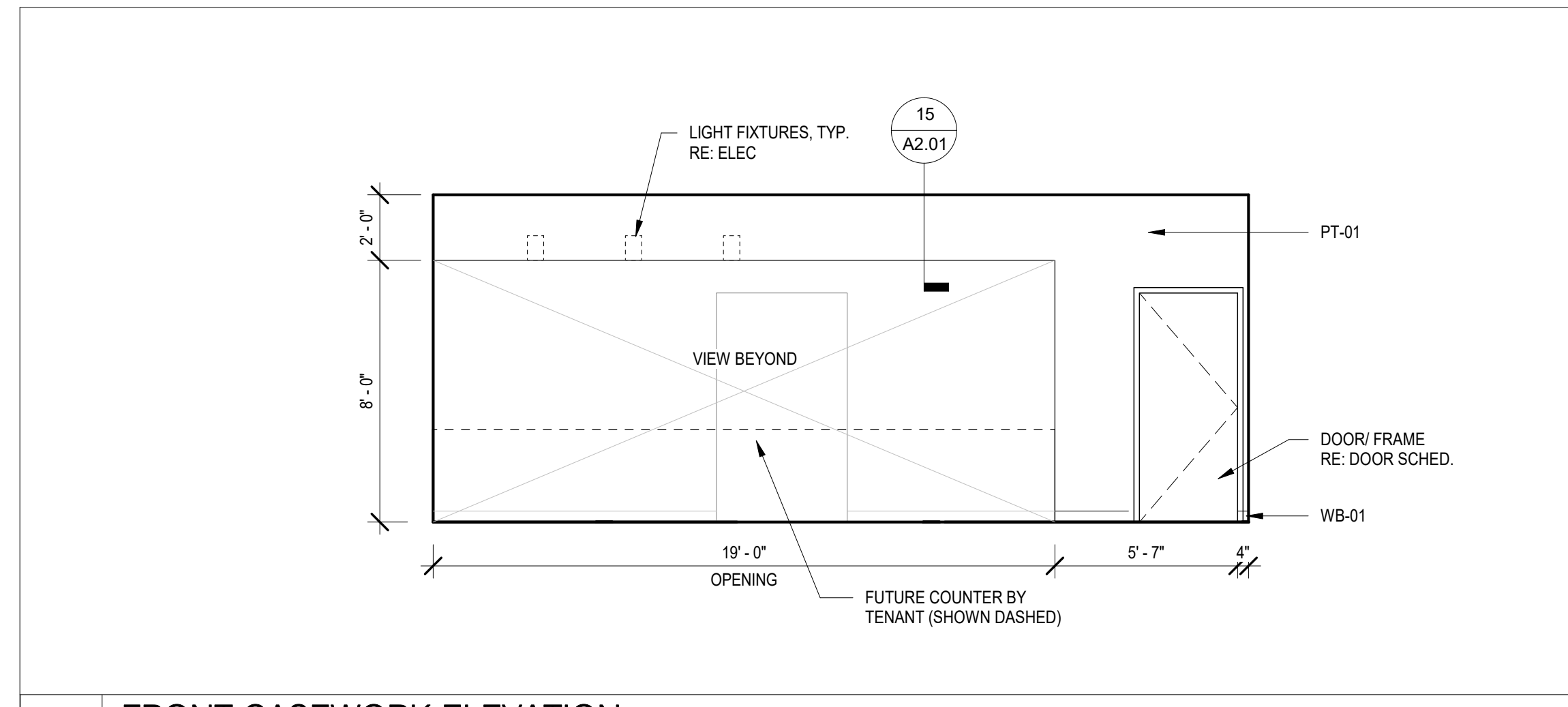
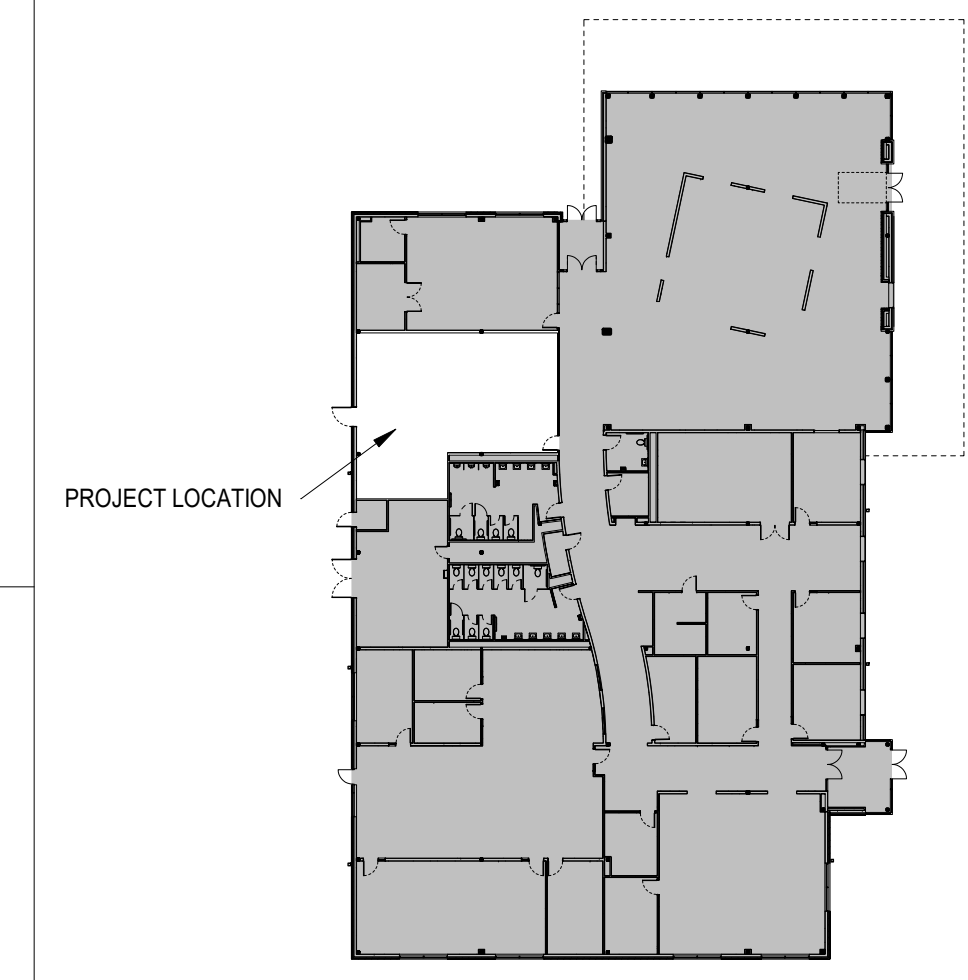


**MEP CONSULTANT:**  
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Bellaire, TX 77401  
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(FOR REFERENCE ONLY)**  
Foodservice Design Professionals  
25317 Interstate 45  
The Woodlands, TX 77380  
tel. 281.350.2323  
www.FDP.org

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- ALL FLOOR SLOPES TO FLOOR DRAINS SHALL NOT EXCEED 1/48
- PROVIDE AND INSTALL SELF-LEVELING UNDERLAYMENT WHERE UNEVEN FLOOR SLAB EXISTS PRIOR TO INSTALLATION OF FLOOR FINISHES
- COORD. HOUSEKEEPING PAD LOCATIONS AND DIMENSIONS WITH EQUIPMENT TO BE INSTALLED
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- ALL FLOOR FINISH MATERIAL CHANGES SHALL HAVE REDUCER STRIPS
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- REFER TO OTHER DISCIPLINE DOCUMENTS FOR ADDITIONAL SCOPE OF WORK

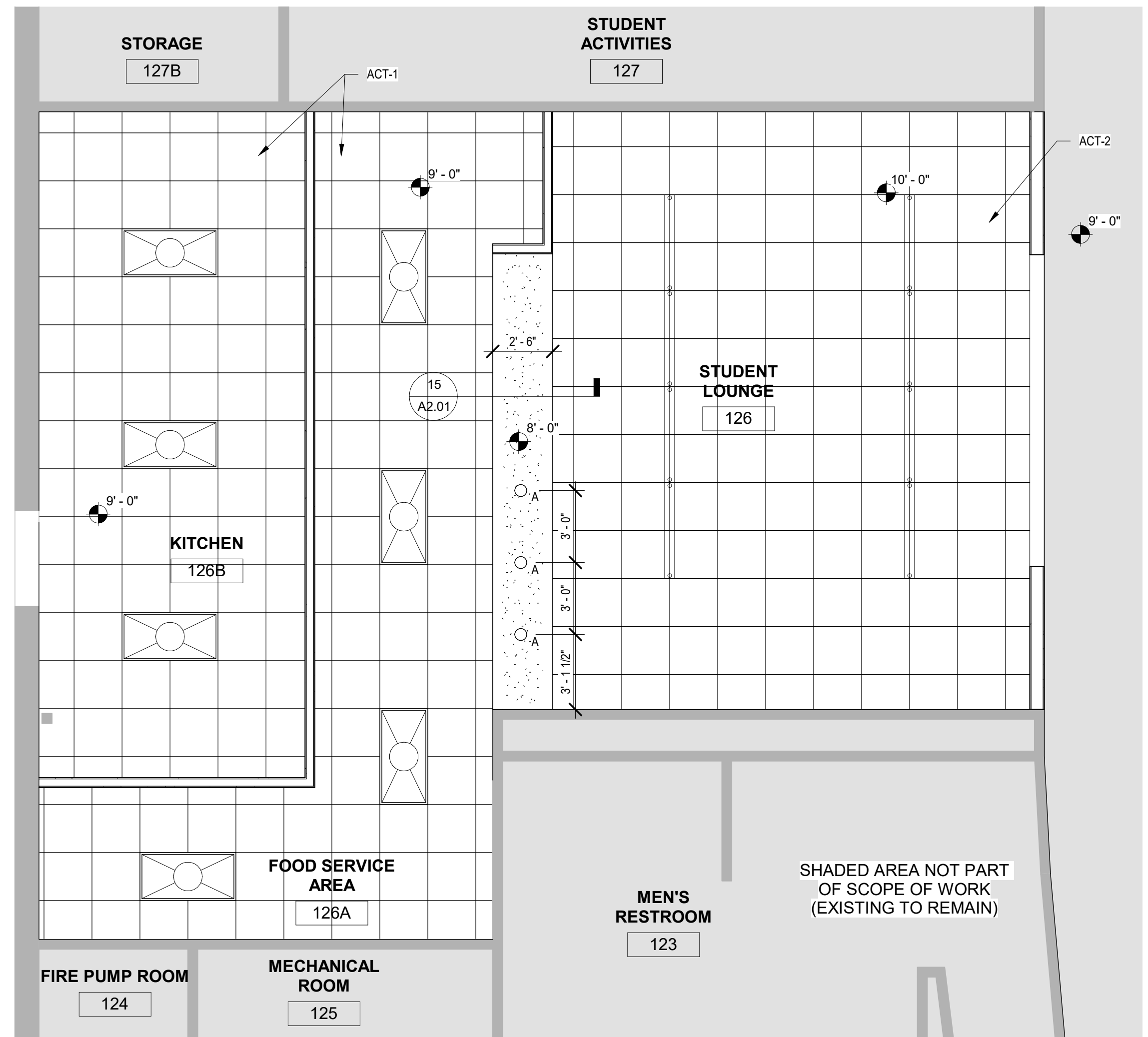


**22 FRONT CASEWORK ELEVATION**  
1/4" = 1'-0"

**20 HCC EASTSIDE COMPLETE PLAN**  
1" = 40'-0"

**CEILING MATERIALS LEGEND**

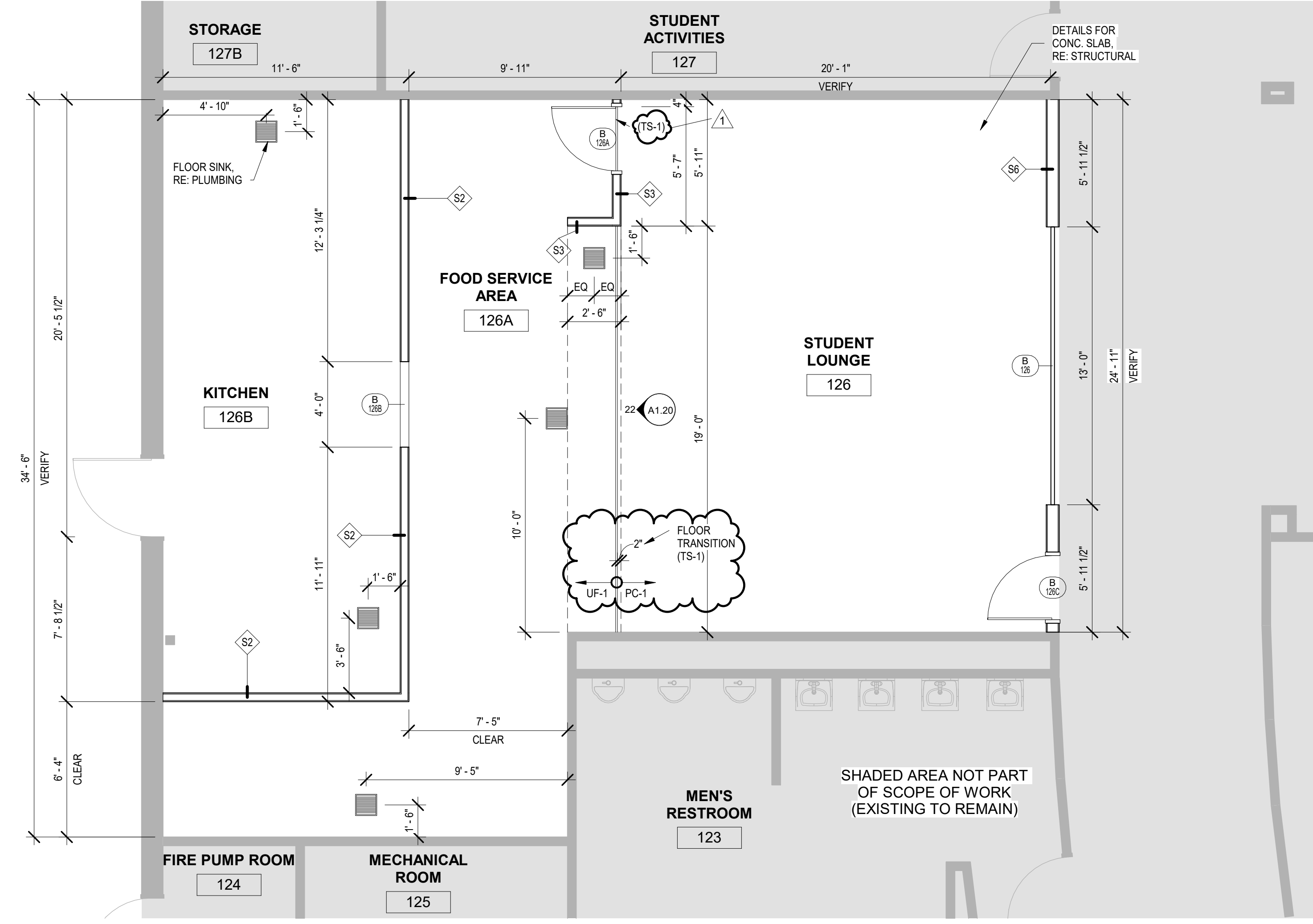
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RE: ELEC
- LINEAR PENDANT LIGHT FIXTURE  
RE: ELEC
- 6" RECESSED DOWNLIGHT  
RE: ELEC



**AREA NOTES**

1. PAINT ALL SIDES OF FURRDOWNS W/ PT-02

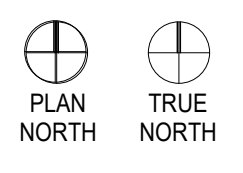
**1 REFLECTED CEILING PLAN - HCC EASTSIDE**  
1/4" = 1'-0"



**3 FLOOR PLAN - HCC EASTSIDE**  
1/4" = 1'-0"

**HCC RENOVATIONS**

HCC EASTSIDE CAMPUS  
8605 HUNTSVILLE  
HOUSTON, TX 77087



Project No.: 2135

Drawing Date: 12/06/2021  
Drawn: INITIALS HERE  
Checked: INITIALS HERE  
Scale: AS NOTED

**Issue Log:**

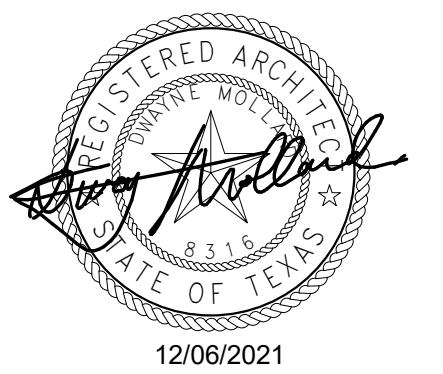
No.	Description	Date

**Revisions:**

No.	Description	Date
1	RFI REVISIONS	01-28-2022

PLANS - HCC EASTSIDE

**A1.20**

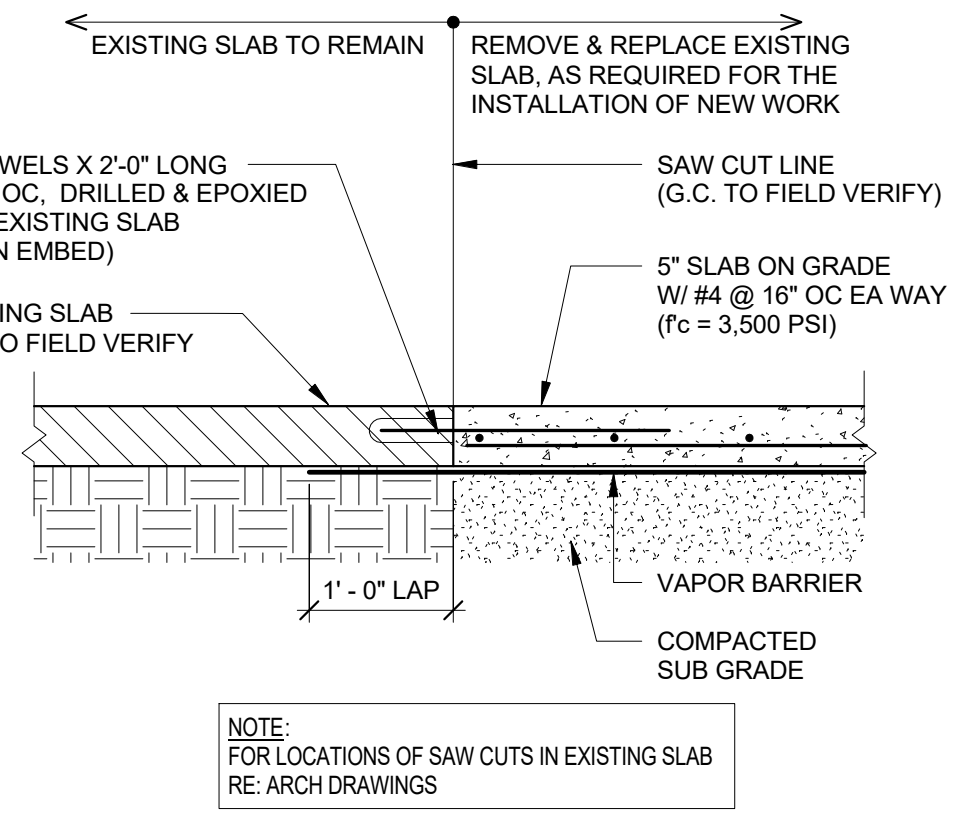
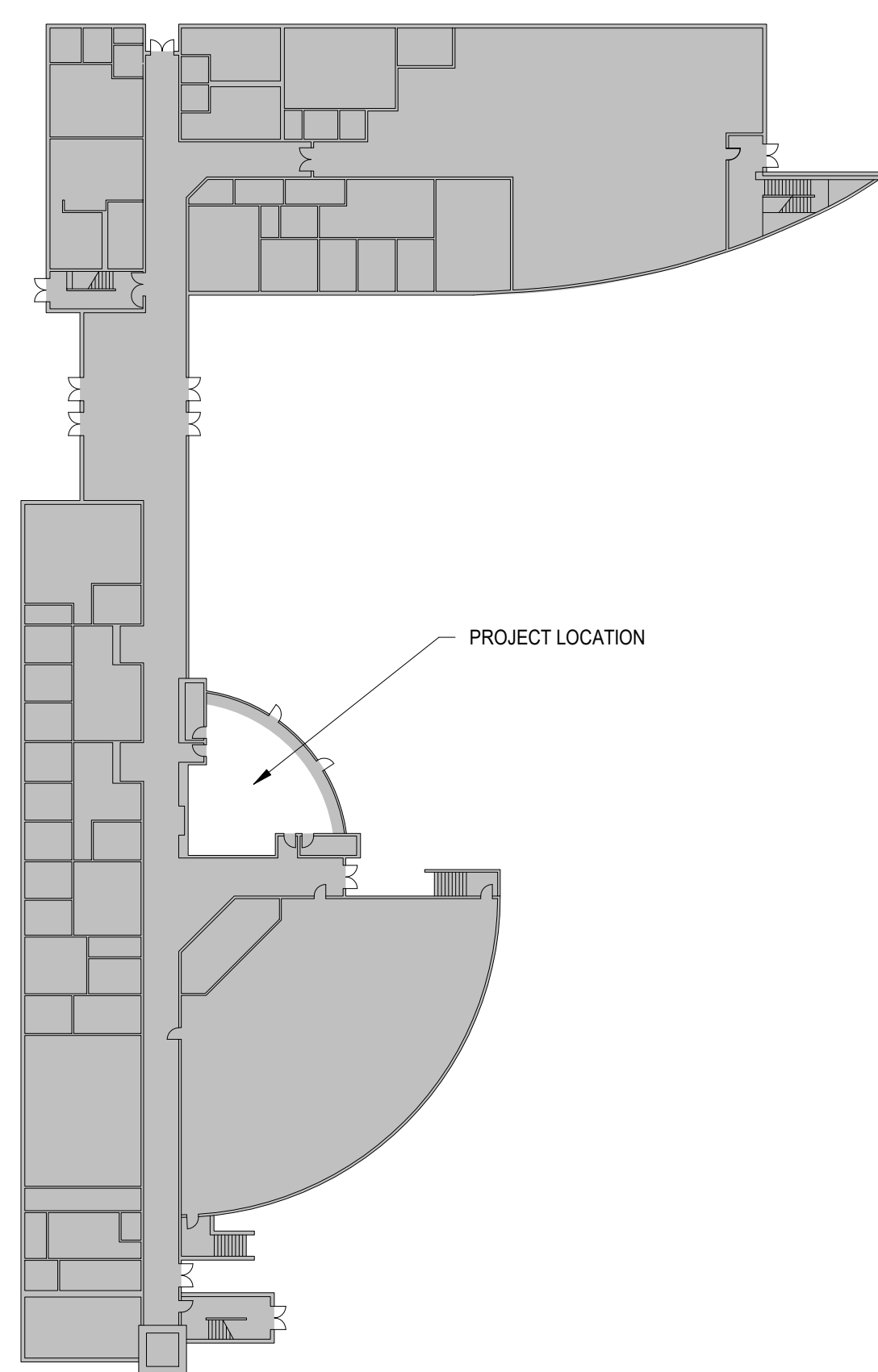


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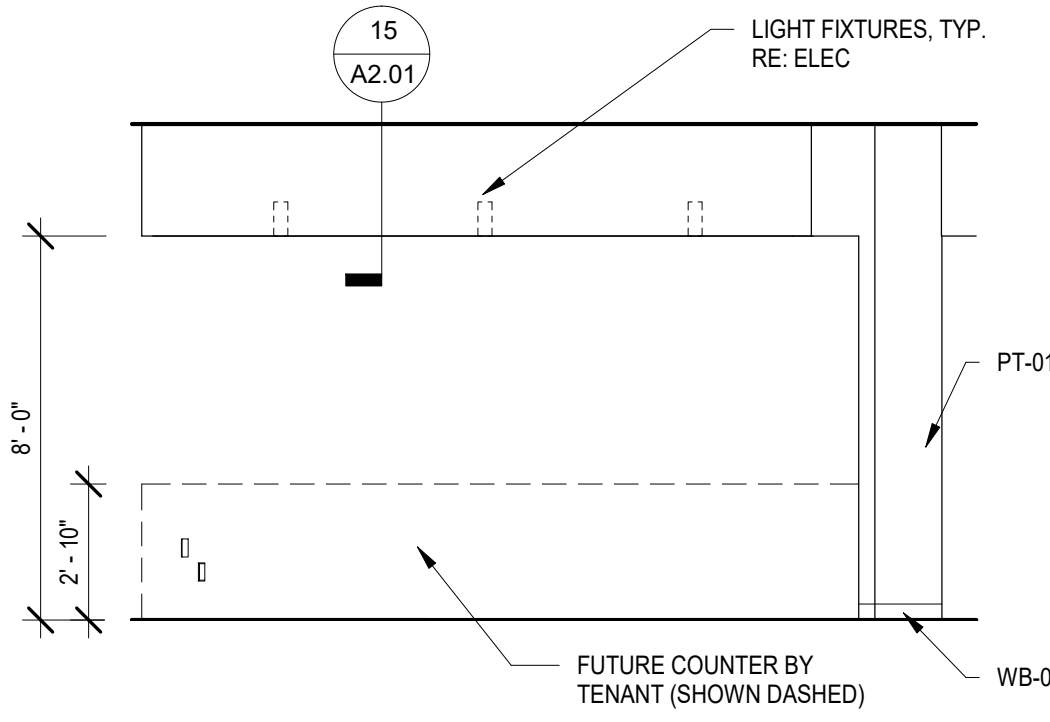
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THIS SEAL APPLIES ONLY TO THIS DETAIL

**Dally + Associates**  
 Texas Registered Engineering Firm F-003429  
**INTERIM REVIEW ONLY**  
 Document Incomplete.  
 Not intended for permit or construction.  
 Engineer: FRED DALLY  
 P.E. Serial No. 19994  
 Date: 12/06/2021



**24 EXISTING SLAB REPLACEMENT DETAIL**  
 3/4" = 1'-0"

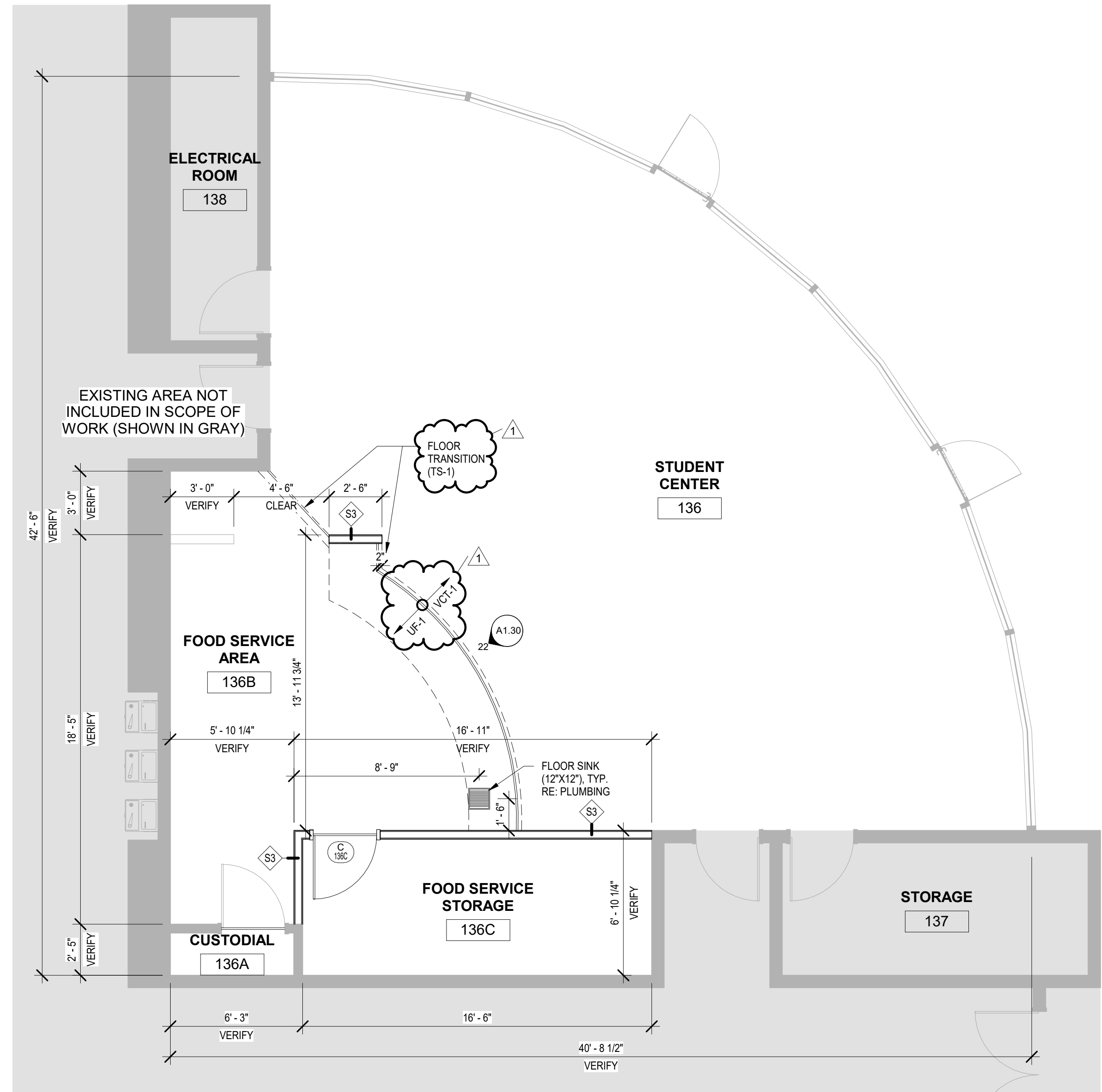
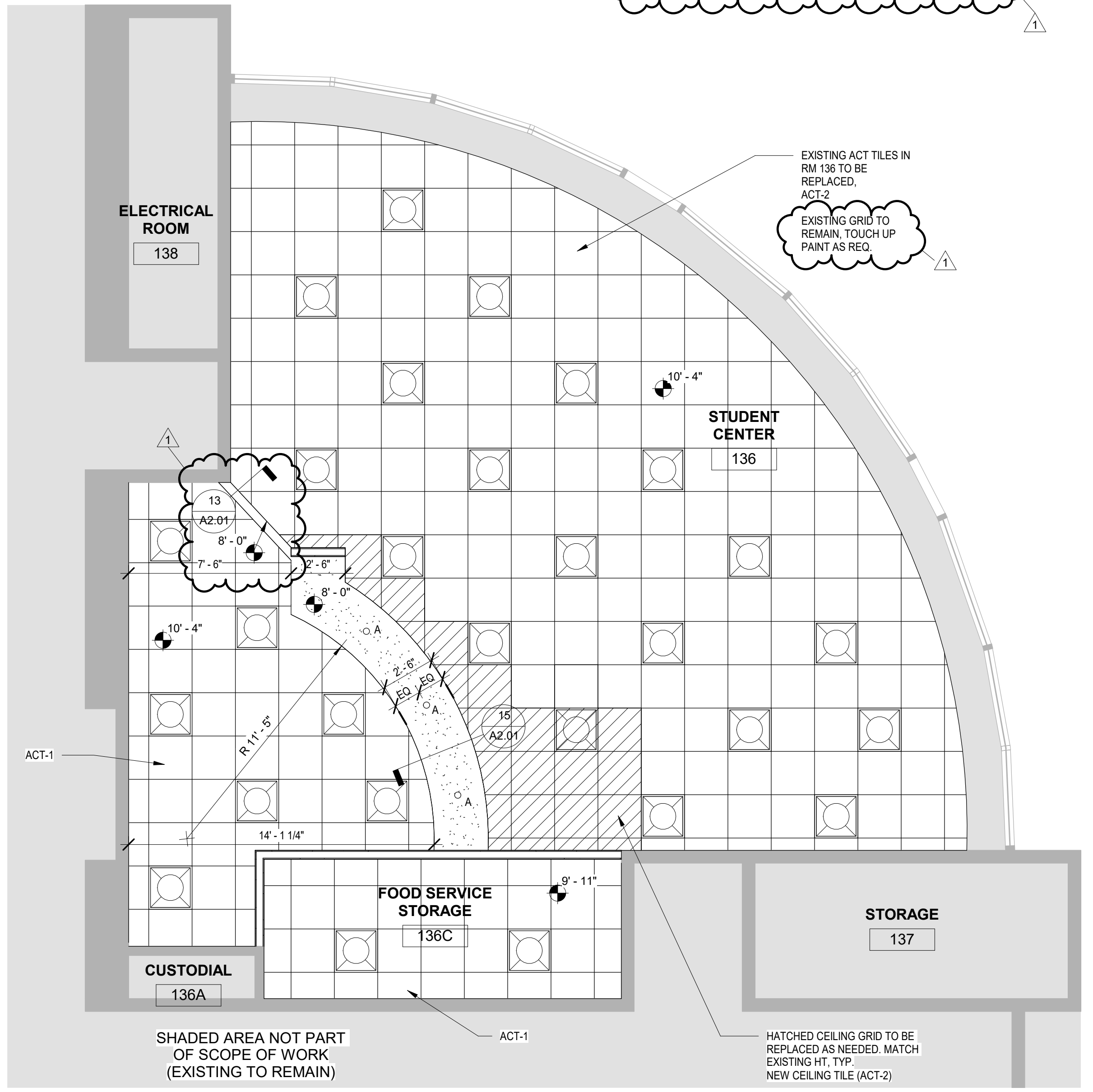
**22 FRONT CASEWORK ELEVATION**  
 1/4" = 1'-0"

**21 HCC NORTHEAST COMPLETE PLAN**  
 1" = 40'-0"

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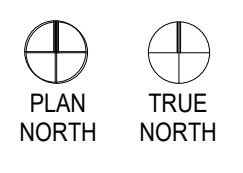


**6 REFLECTED CEILING PLAN - HCC NORTHEAST**  
 1/4" = 1'-0"

**3 FLOOR PLAN - HCC NORTHEAST**  
 1/4" = 1'-0"

**HCC RENOVATIONS**

HCC NORTHEAST CAMPUS  
 550 COMMUNITY COLLEGE DR.  
 HOUSTON, TX 77013



Project No.: 2135

Drawing Date: 12/06/2021  
 Drawn: INITIALS HERE  
 Checked: INITIALS HERE  
 Scale: AS NOTED

Issue Log:

No.	Description	Date

Revisions:

No.	Description	Date
1	RFI REVISIONS	01-28-2022

PLANS - HCC NORTHEAST

**A1.30**

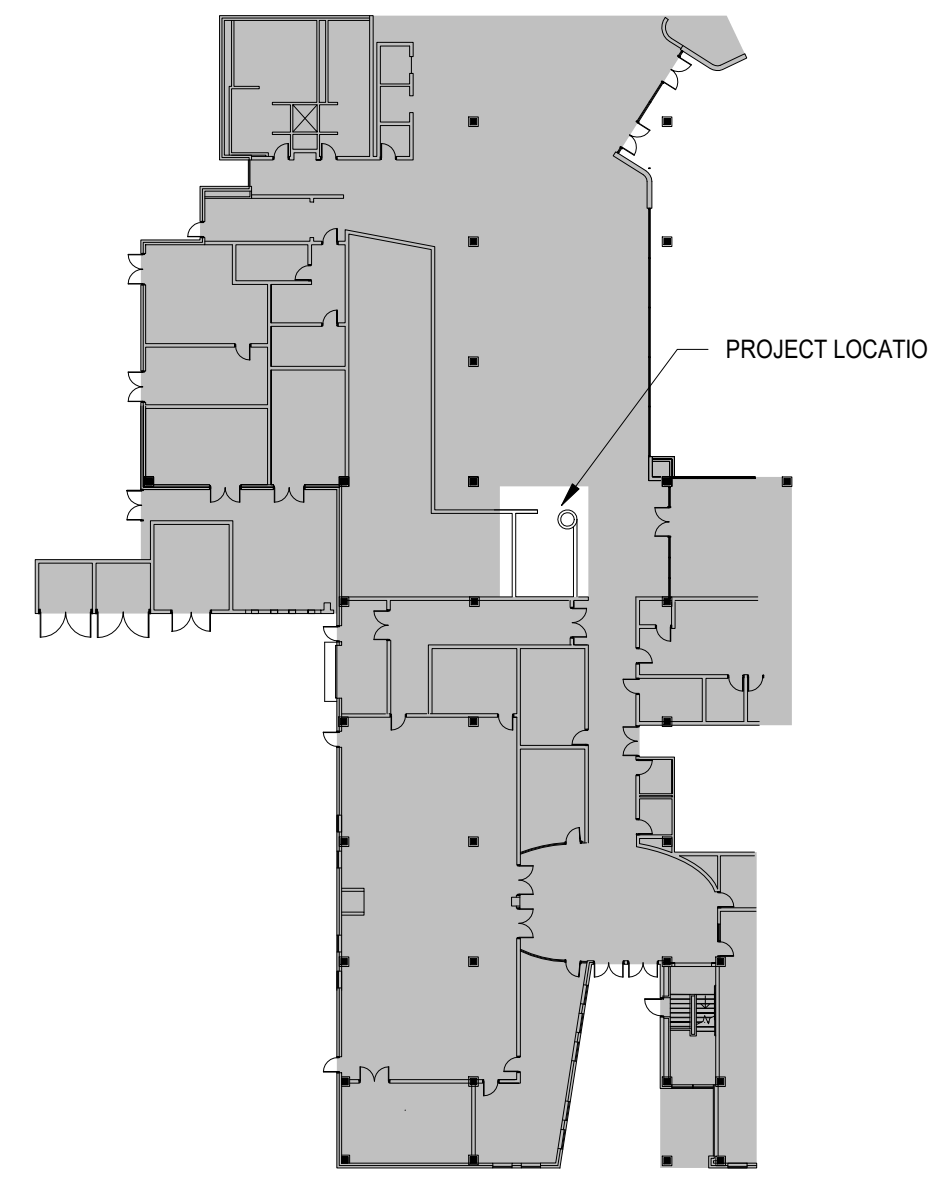


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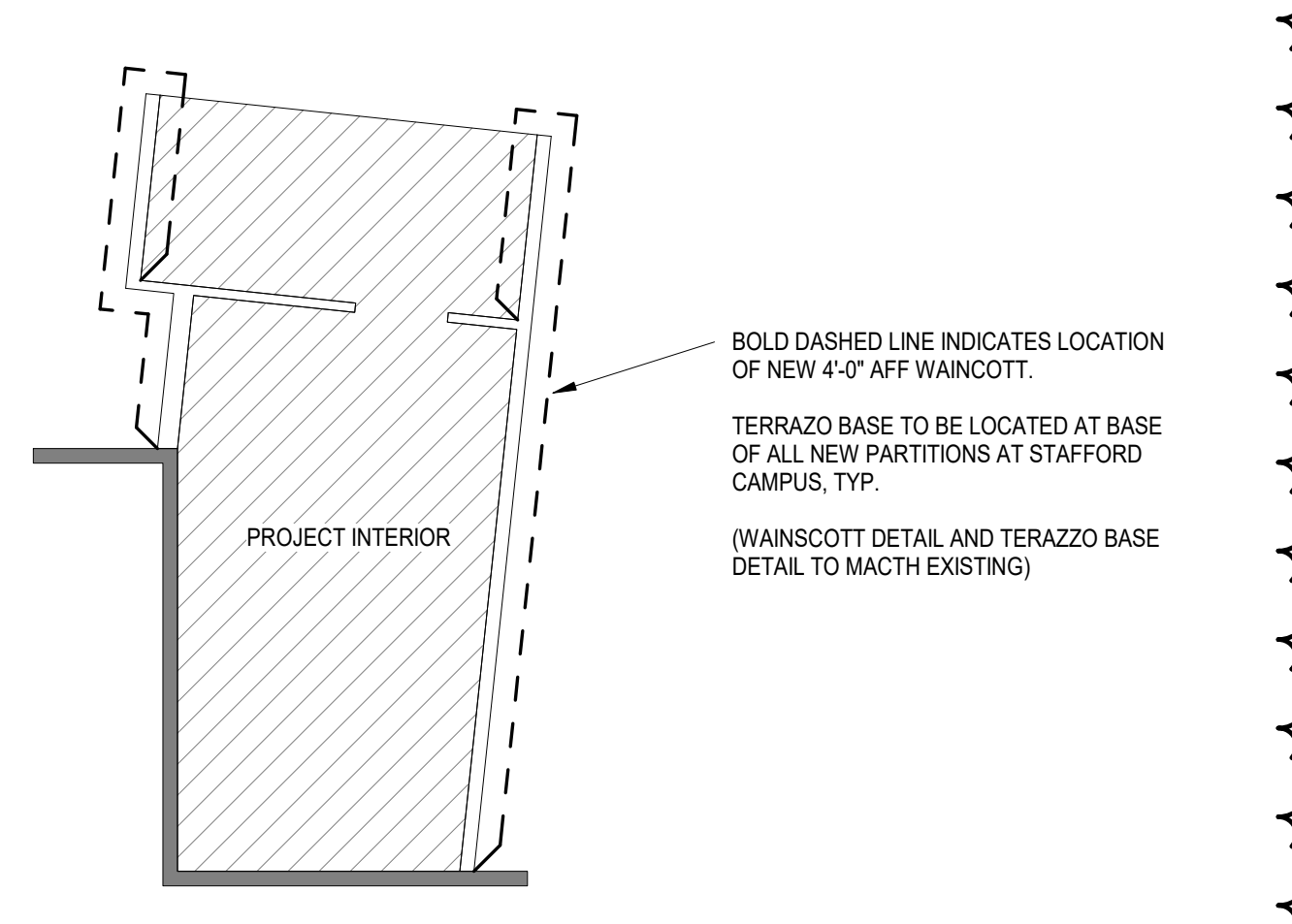
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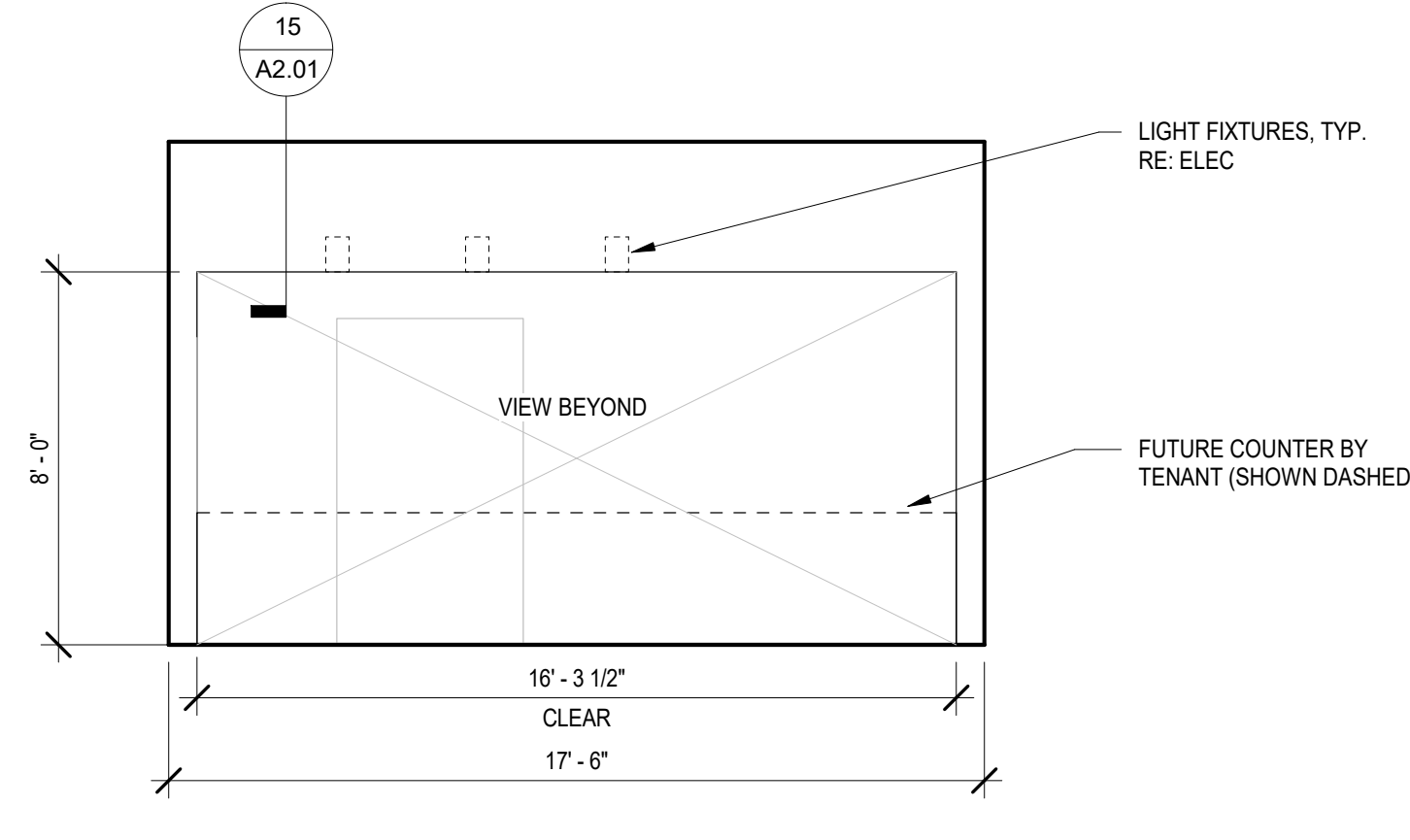
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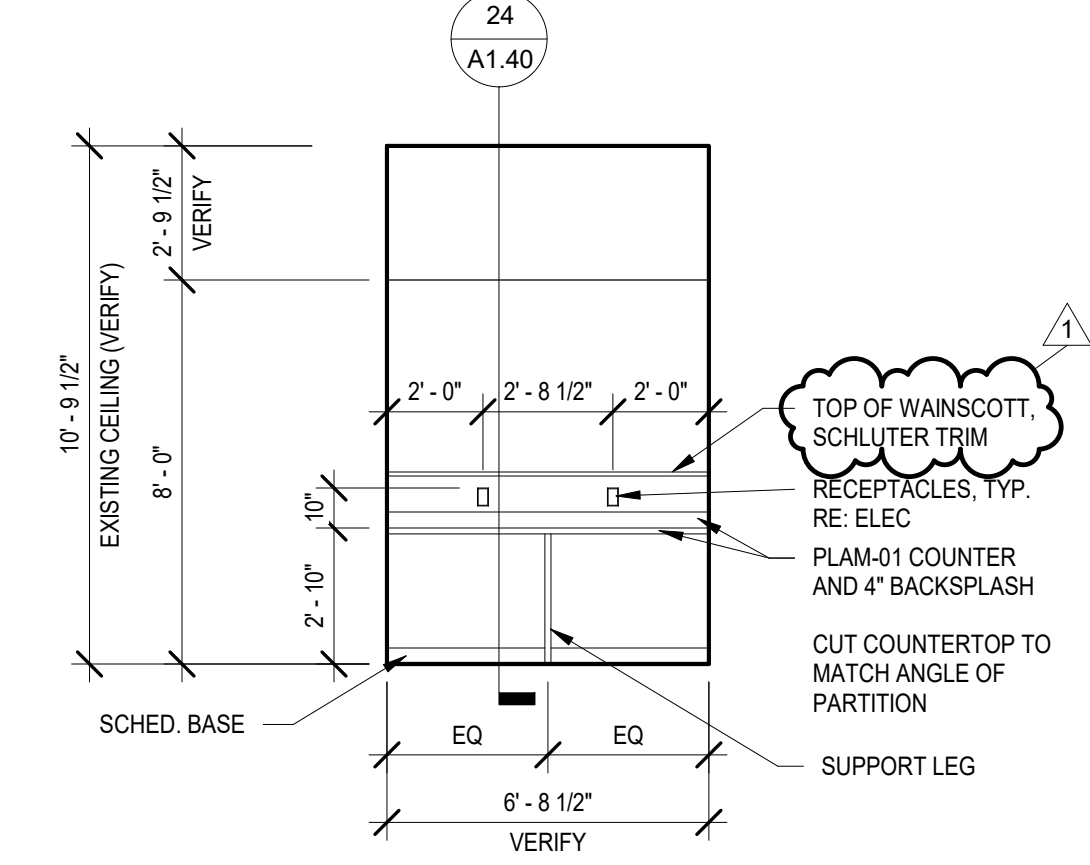
**20 HCC STAFFORD COMPLETE PLAN**  
 1" = 40'-0"



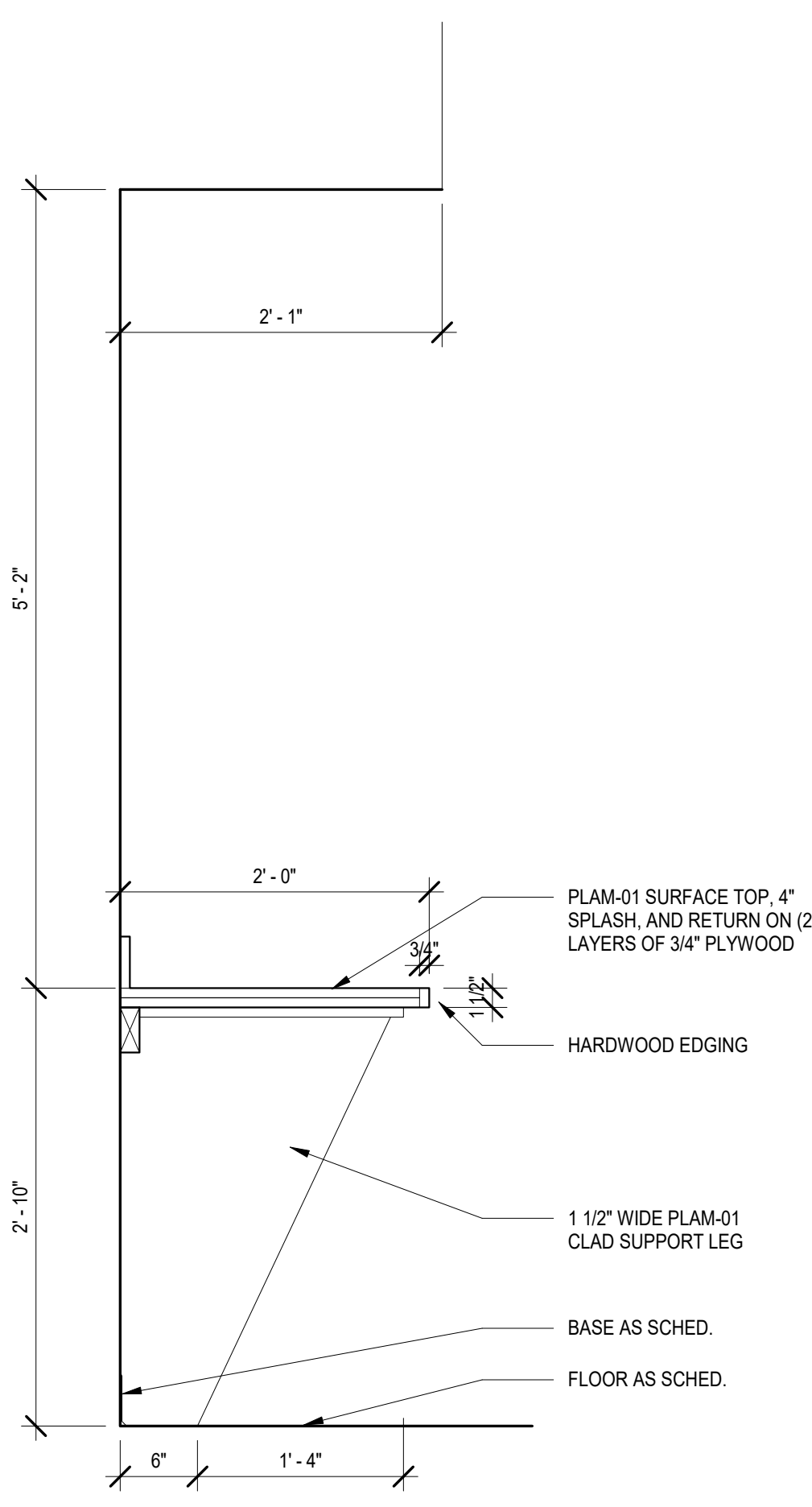
**29 WAINSCOTT AND TERRAZZO BASE LOCATION**  
 1/8" = 1'-0"



**22 FRONT CASEWORK ELEVATION**  
 1/4" = 1'-0"



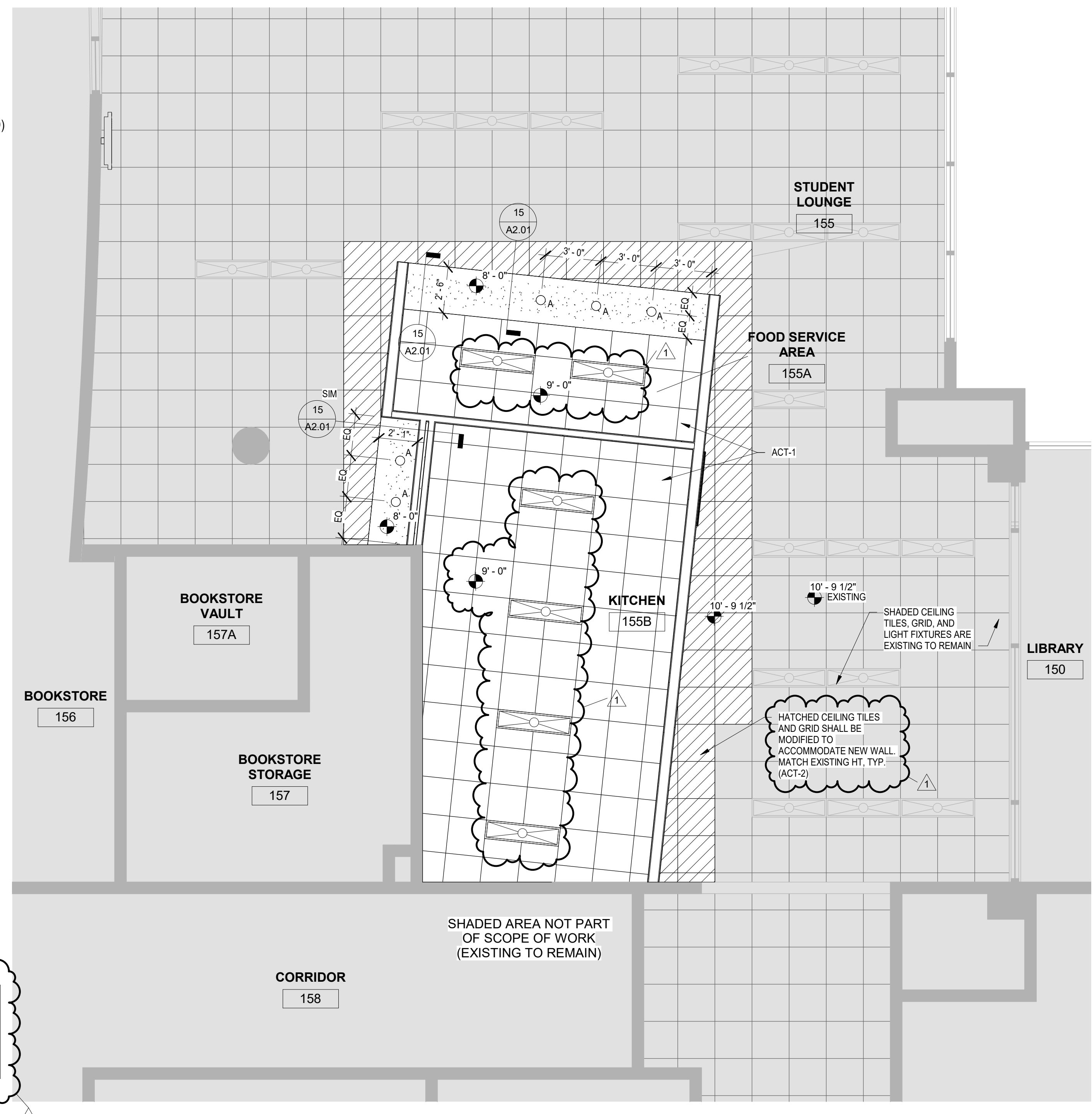
**23 SIDE CASEWORK ELEVATION**  
 1/4" = 1'-0"



**24 CASEWORK SECTION**  
 1" = 1'-0"

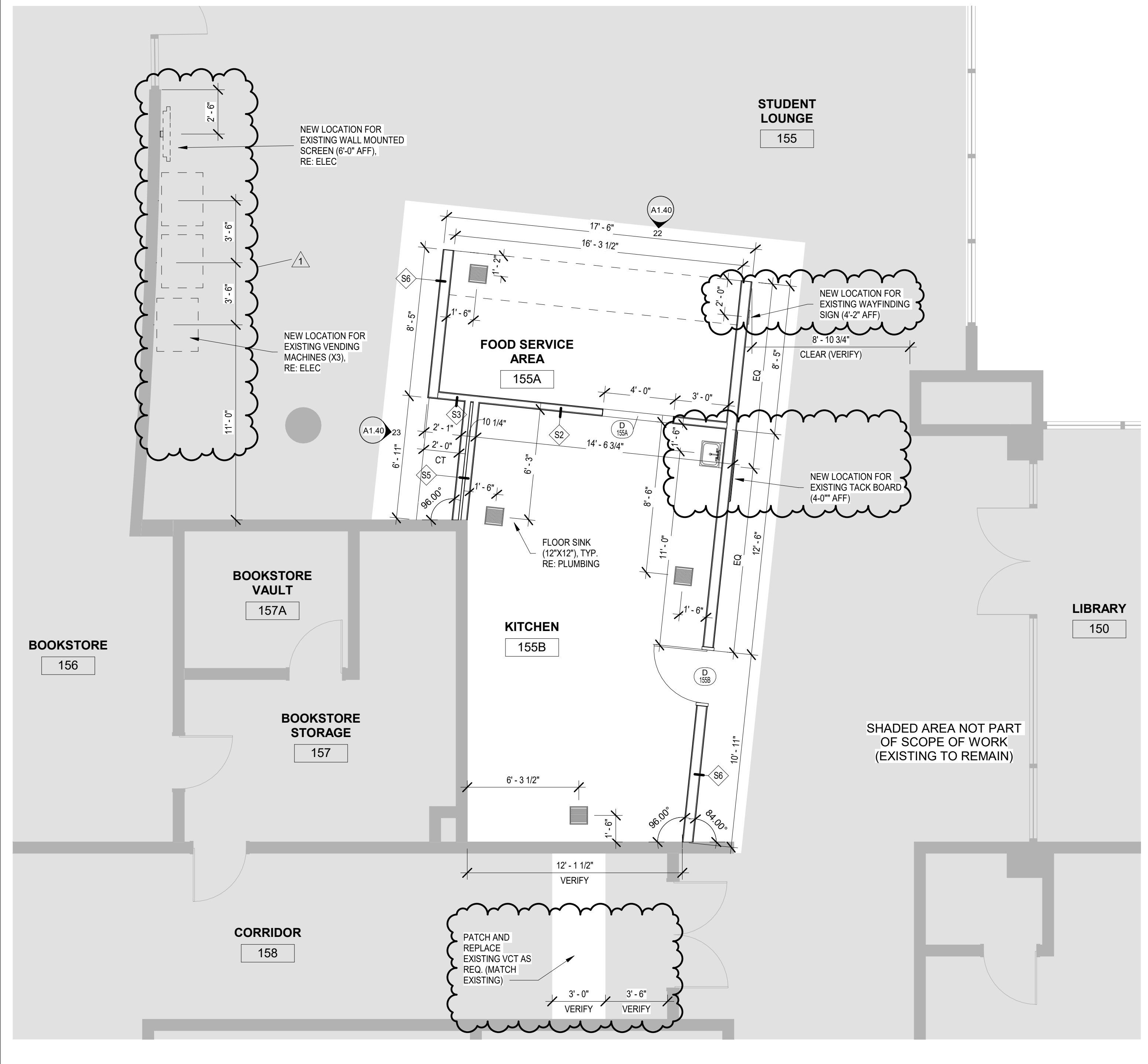
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- ACT-TYPE 2 - 2' x 2' ACOUSTIC PANEL  
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- GYPSUM BOARD  
 RE: FINISH SCHEDULE
- 1' x 4' LED LIGHT FIXTURE  
 RE: ELEC
- 6" RECESSED DOWNLIGHT  
 RE: ELEC



**AREA NOTES**  
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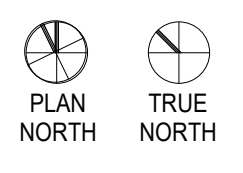
**6 REFLECTED CEILING PLAN - HCC STAFFORD**  
 1/4" = 1'-0"



**3 FLOOR PLAN - HCC STAFFORD**  
 1/4" = 1'-0"

**HCC RENOVATIONS**

HCC STAFFORD CAMPUS  
 1500 CASH ROAD  
 STAFFORD, TX 77477



Project No.: 2135

Drawing Date: 12/06/2021  
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Issue Log:

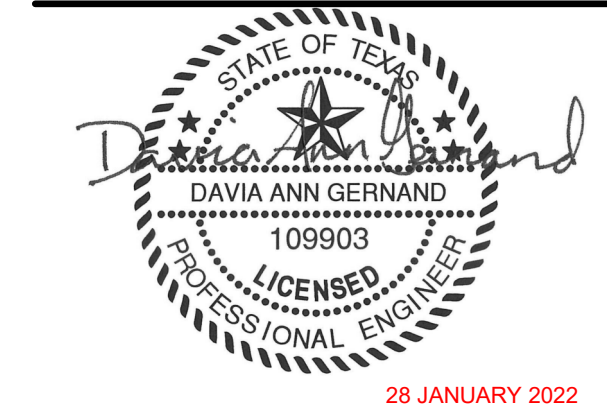
No.	Description	Date

Revisions:

No.	Description	Date
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**PLANS - HCC STAFFORD**

**A1.40**



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Bellaire, TX 77401  
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**IECC 2015 CONFORMANCE**

LIGHTING DESIGN COMPLIES WITH THE CURRENT ENERGY CODES (IECC 2015). WIRING IS ONLY SHOWN TO CONNECT TO THE LIGHTING CIRCUIT ALREADY PULLED TO THE ZONE. THE LED LIGHTING IS LESS THAN HALF THE WATTAGE OF THE ORIGINAL FIXTURES.

TIME SWITCH CONTROLS APPLIES TO NEW SPACES/OFFICES NOT PROVIDED WITH OCCUPANCY SENSOR CONTROL. ALL SPACES SHALL HAVE SOME FORM OF AUTOMATIC CONTROL (SEE KEYED NOTES).

**ELECTRICAL KEYED NOTES**

- 1 THIS EXISTING RECEPTACLE SHALL BE REPLACED IN ITS LOCATION FOR A GFCI RECEPTACLE.
- 2 CONTRACTOR SHALL PROVIDE AND WIRE A NEW VACANCY SENSOR FOR THIS NEW SPACE. THE SENSOR IS A "MANUAL-ON" DEVICE THUS COMPLYING WITH THE NEWEST ENERGY CODES.
- 3 CONTRACTOR SHALL VERIFY THIS FIXTURE HAS OR RECEIVES A 1400 LUMEN BATTERY PACK FOR SUPPLYING EMERGENCY POWER FOR A MINIMUM 90 MINUTES. PROVIDE A CONSTANT HOT LEG FOR POWER OF BATTERY.

**PANEL: LK**  
LOCATION: KITCHEN 135C  
SUPPLY FROM: TLK  
MOUNTING: SURFACE  
ENCLOSURE: Type 4X

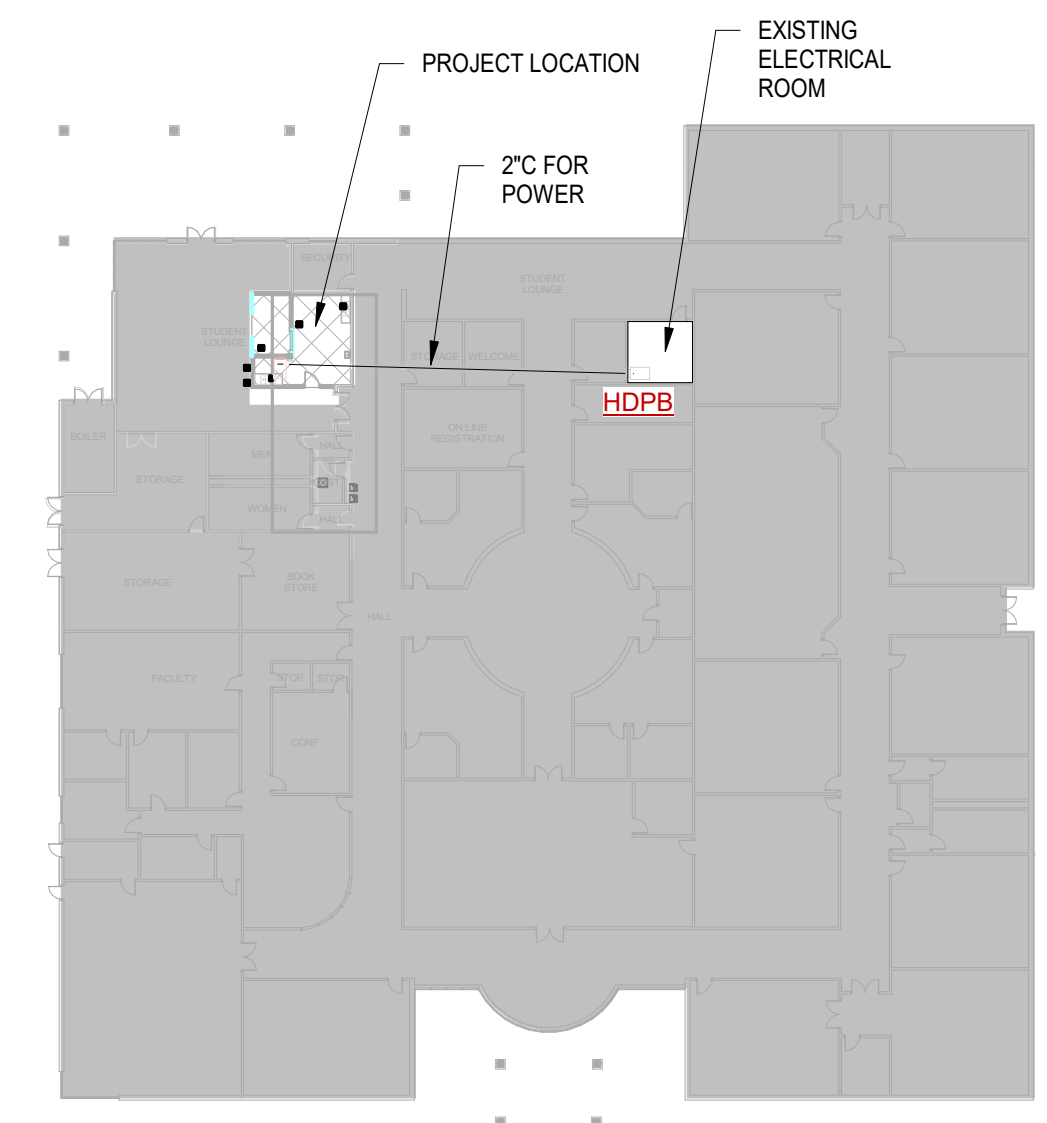
VOLTS: 120/208 Wye  
PHASE: 3  
WIRE: 4

ALC. RATING: 14000  
BUS RATING: 100 A  
MAIN CB: 150 A

CKT	CIRCUIT DESCRIPTION	LC	CT	TRIP	POLES	A	B	C	POLES	TRIP	CT	LC	CIRCUIT DESCRIPTION	CKT
1	LIGHTING - KITCHEN	Lighting	28	20 A	1	0.98 kVA	0.40 kVA						(2) RCPT - FOOD SERVICE AREA	2
3	(2) RCPT - FOOD SERVICE AREA	Receptacle	2	20 A	1		0.40 kVA	0.20 kVA					(1) RCPT - COFFEE MACHINE	4
5	(1) RCPT - KITCHEN	Receptacle	1	20 A	1			0.20 kVA	0.40 kVA				(2) RCPT - KITCHEN	6
7	(2) RCPT - KITCHEN	Receptacle	2	20 A	1	0.40 kVA	0.40 kVA						(2) RCPT - KITCHEN	8
9														10
11														12
13														14
15														16
17														18
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37														38
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41														42

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS
Lighting	0.98 kVA	125.00%	1.22 kVA	TOTAL CONN. LOAD: 3.38 kVA
Receptacle	2.40 kVA	100.00%	2.40 kVA	TOTAL EST. DEMAND: 3.62 kVA
				TOTAL CONN.: 9 A
				TOTAL EST. DEMAND: 10 A

NOTES: USE #12CU + #12G IN 3/4" FOR 20A/1P BREAKER U.O.N. MAX 3 SINGLE PHASE CIRCUITS PER CONDUIT - 9 CONDUCTORS  
\*GFI BREAKER  
\*\*NON-COINCIDENT LOADS (LARGER OF TWO CALCULATED)



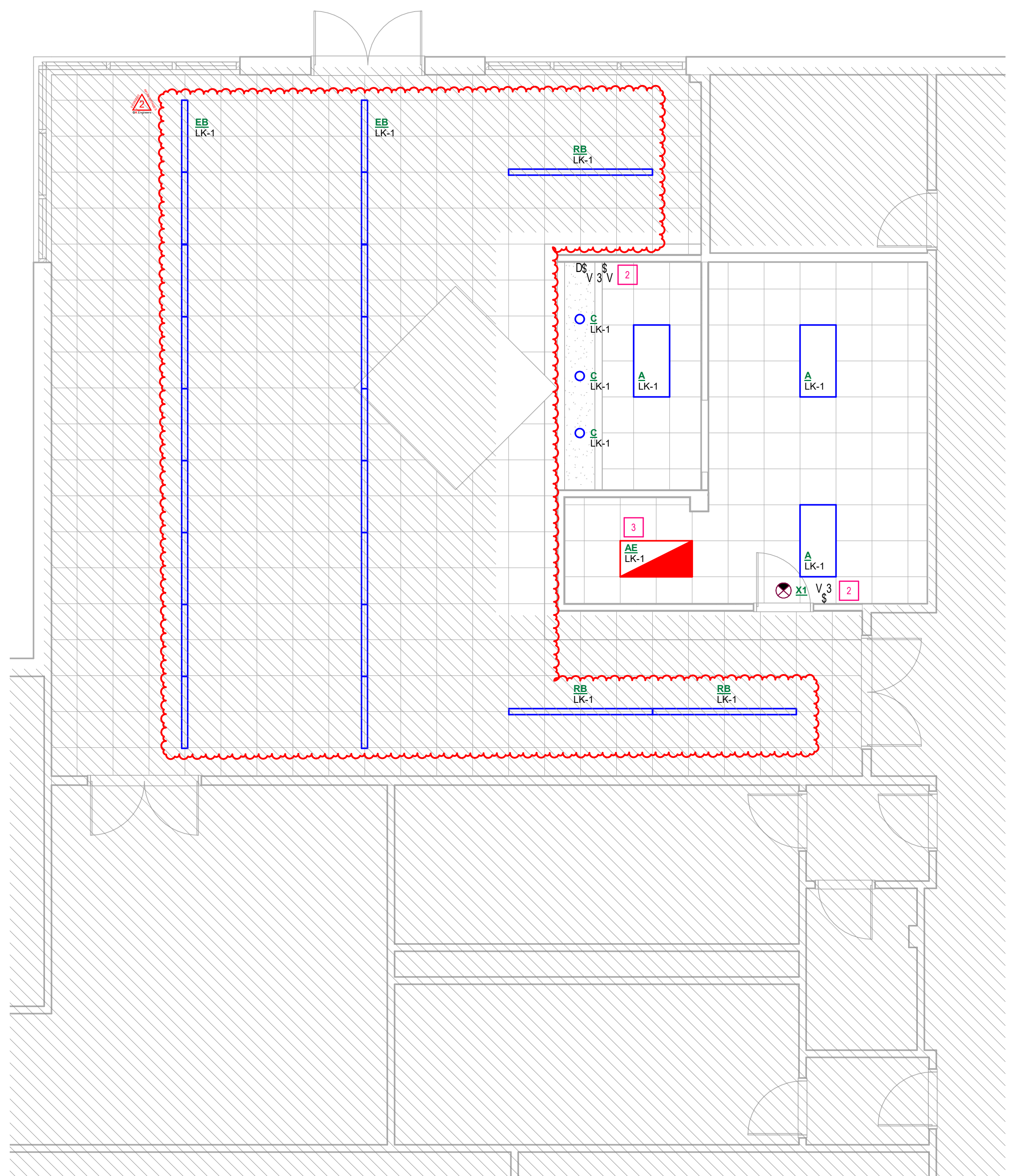
**3 HCC CENTRAL SOUTH OVERALL PLAN - E**  
1" = 40'-0"

**LIGHTING FIXTURE SCHEDULE**

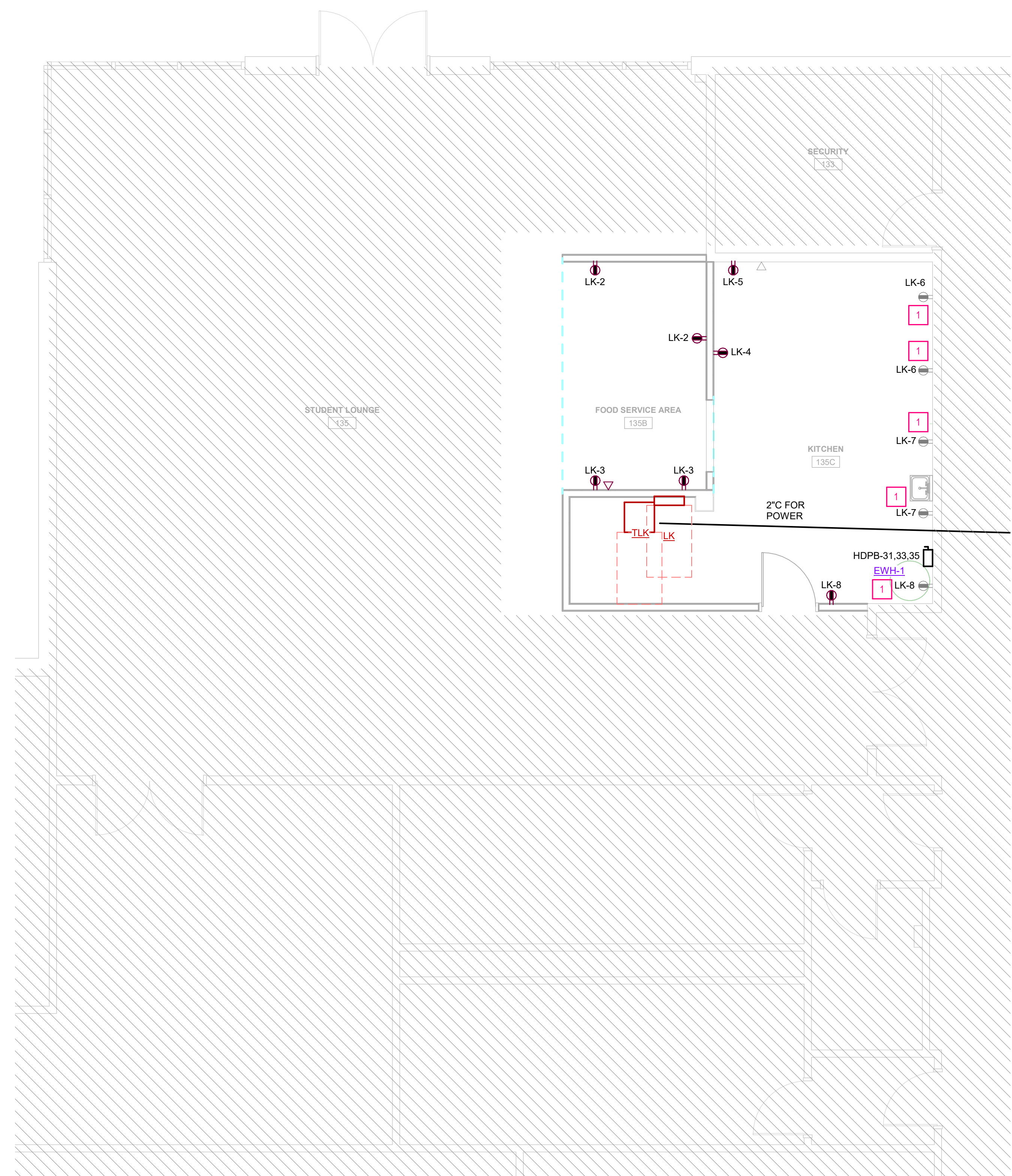
CONTRACTOR SHALL COORDINATE WITH ARCHITECT/OWNER FOR ALL FINAL SELECTIONS, LOCATIONS, QUANTITIES, ETC.

Tag	Manufacturer	Model Number	Mounting	Voltage	Wattage	Lamp Type	Description
A	COLUMBIA LIGHTING	LCAT24-40H-LG-EDU-(EL14)	RECESSED	120 V	45 W	LED	2x4 LED LAY-IN FLANGE FIXTURE
AE	COLUMBIA LIGHTING	LCAT24-40H-LG-EDU-(EL14)	RECESSED	120 V	45 W	LED	2x4 LED LAY-IN FLANGE FIXTURE
C	PRESCOLITE	LC65L-DM1-(EM)-6LCSL-18L-40K-9-WH-WT	RECESSED	120 V	24 W	LED	6" LED RECESSED DOWNLIGHT WITH DIMMING
EB	EXISTING TO REMAIN	EXISTING TO REMAIN	VERIFY	120 V	30 W	LED	EXISTING TO REMAIN SHADED FIXTURES
RB	RELOCATED EXISTING	RELOCATED EXISTING	VERIFY	120 V	45 W	LED	RELOCATED EXISTING LINEAR LIGHT PENDANT FIXTURES
SA	COOPER LIGHTING	GLAN-SA30-740-U-12-DIM10-MS-DIM-L20	POLE	277 V	191 W	LED	25 LED POLE LIGHT, TYPE 2 DISTRIBUTION, POWER 1400 LUMENS
SB	COOPER LIGHTING	LXS-VA-3-740-U-ASW-S-MS-DIM-L20	POLE	277 V	96 W	LED	25 LED POLE LIGHT, TYPE 4 DISTRIBUTION, NEW EXIT SIGN WITH BATTERY BACKUP FOR A MINIMUM 90MIN ILLUMINATION. CIRCUIT TO NEAREST NON-SWITCHED HOT LEG.
X1	COMPASS	CELS1RNE // CELS2RNE	WALL/CEILING	120 V	5 W	LED	

GENERAL NOTES:  
1. REFER TO ARCHITECTURAL PLANS FOR GRID/FLANGE AREAS, PRIOR TO BIDDING OF LIGHT FIXTURES. CONTRACTOR IS RESPONSIBLE FOR QUANTITY OF EACH.  
2. COORDINATE MOUNTING HEIGHT OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.  
3. PROVIDE AN ADDITIONAL NON-SWITCHED HOT LEG TO ALL EMERGENCY FIXTURES FOR BATTERY CHARGING AND POWER-LOSS DETECTION. PROVIDE AN EXTRA HOT AND SPLICE AROUND CONTRACTORS/CONTROLLERS IF NECESSARY.  
4. ALL EXIT SIGNS ARE TO BE NON-SWITCHED.  
5. ALL FIXTURE SUBSTITUTIONS SHALL BE SUBMITTED TO THE A/E PRIOR TO BID. EQUALS MUST CONFORM TO LUMENS PER WATT AND PHOTOMETRIC PERFORMANCE.



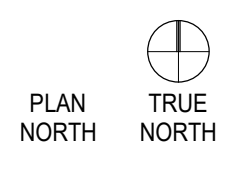
**2 LEVEL 1 - FLOOR PLAN - LIGHTING**  
1/4" = 1'-0"



**1 LEVEL 1 - FLOOR PLAN - POWER**  
1/4" = 1'-0"

HCC FOOD SERVICE RENOVATIONS

HCC CENTRAL SOUTH CAMPUS  
180 AIRPORT BLVD.  
HOUSTON, TX 77051



Project No.: 2135

Drawing Date: 11/09/2021  
Drawn: INITIALS HERE  
Checked: INITIALS HERE  
Scale: AS NOTED

Issue Log:

No.	Description	Date

Revisions:

No.	Description	Date
1	ISSUE FOR PRICING	11/09/2021
2	RFI RESPONSES	01/28/2022

FLOOR PLAN - ELECTRICAL

E1.21

CHECKED BY: WJK

DRAWN BY:

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